

TOTAL PARKING PROVISION

- CARS: 267
- MOTORCYCLE: 28
- BICYCLE: 101

WORKS SUBJECT TO S456 APPLICATION

INTERNAL RECONFIGURATION OF CLUB BUILDING REFER TO DETAIL PLANS

RECONFIGURATION OF ALMA STREET ENTRY ZONE REFER TO DETAIL PLAN

NEW PLAYGROUND ZONE TO L/SCAPE ARCH. DETAILS

NO AMENDMENT TO TENNIS PRO SHOP BUILDING SUBJECT TO THIS APPLICATION

NO AMENDMENT TO GYM BUILDING SUBJECT TO THIS APPLICATION

SITE PLAN: PARKING & EXTERNAL WORKS
SCALE @ A1 1:500

REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

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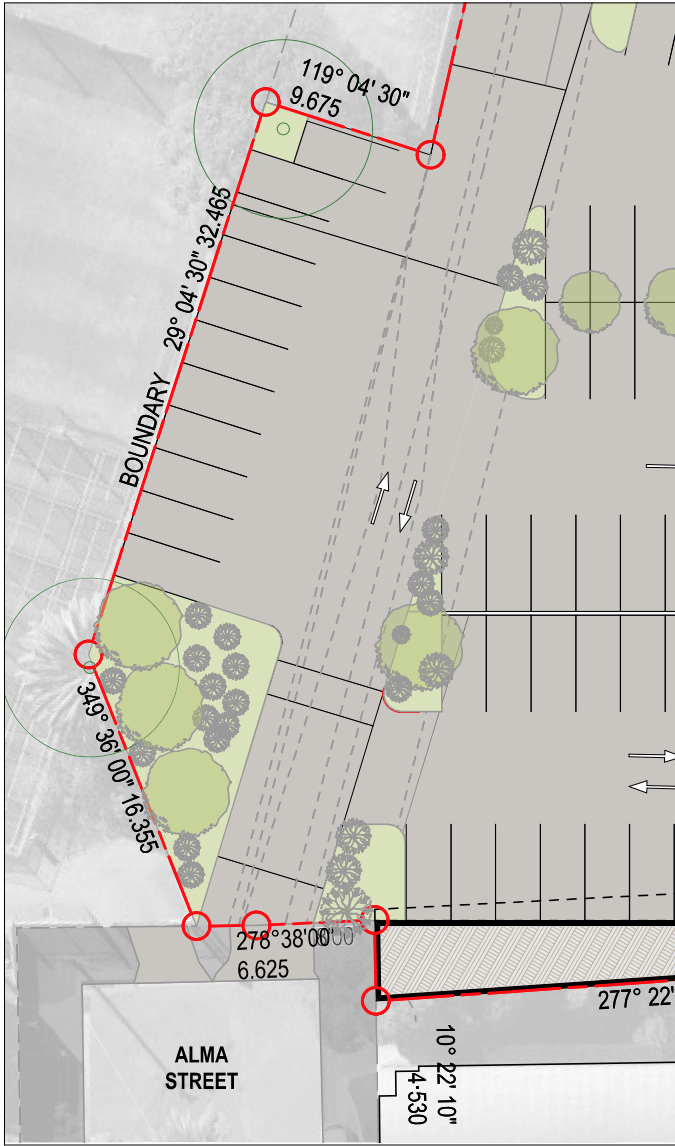
0 5 10 15 20 25 30 35 40 45 50
SCALE 1: 500 @ A1
SCALE 1: 1000@ A3
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Notional Architect
Marsh Terms NSW Reg No. 10093
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 - Builder and/or Subcontractor to supply one sample each of the proprietary items, finishes, samples materials and shop drawings for sign off prior to placement of order, fabrication or construction. Once approved one signed item is to be held by the Builder and one duplicate item to be forwarded to Client's Representative.
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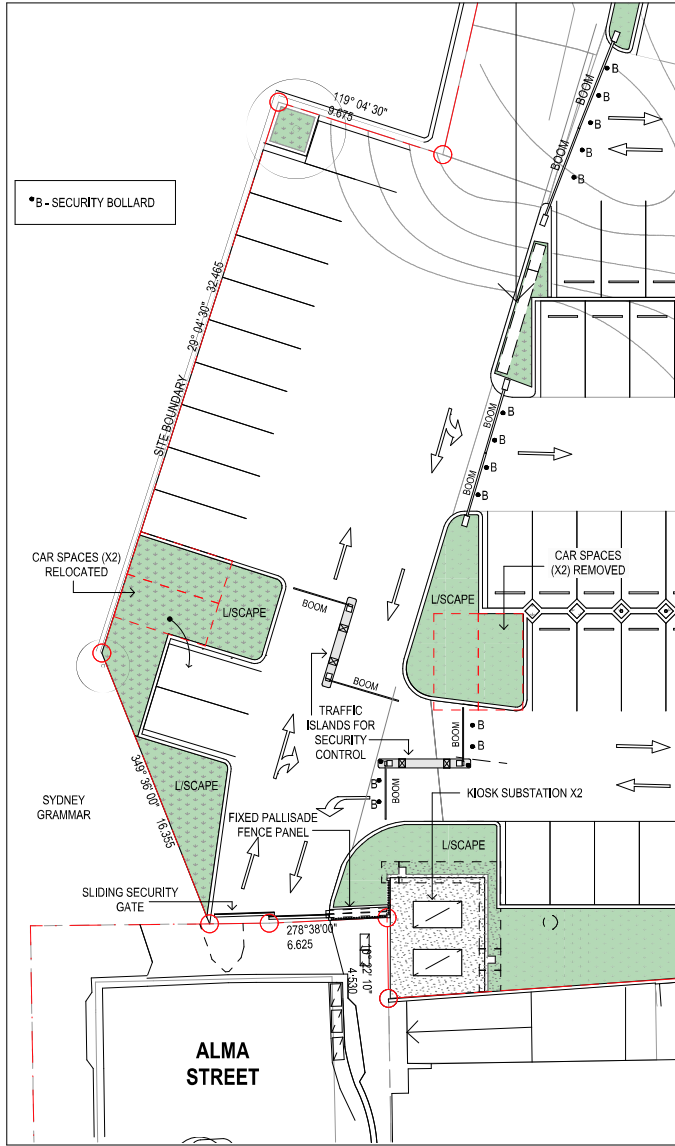
03 S456
ISSUE PURPOSE
S456
14/11/2024 CA BS BS
DATE D. C. A. ID CHANGE

WHITE CITY REDEVELOPMENT
30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB
DRAWING TITLE

SITE PLAN - PARKING & EXTERNAL WORKS
JOB No
5669
DRAWING No
A-2010
ISSUE
03



1 ALMA ST. ENTRY - CURRENT APPROVAL
SCALE 1:300 @ A1



2 ALMA ST. ENTRY - PROPOSED
SCALE 1:150 @ A1
SCALE 1:300 @ A3

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GENERAL NOTES

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- Builder and/or Subcontractor to confirm without, levels, setbacks and critical dimensions on the building of all services features and fittings prior to and during the work. Notify Architect to any conflicts discovered prior to proceeding.
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02 Update	17/02/2025	CA	BS	BS
ISSUE PURPOSE	DATE	C	A	B
5456				

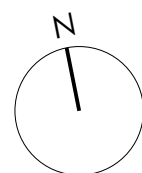
REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB
DRAWING TITLE

ALMA STREET ENTRY COMPARISON

JOB NO. 5669
DRAWING NO. A-2014
ISSUE 02



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ISSUE PURPOSE				CHANGE REGISTER			
S456	13/02/2025	RG	BS	BS	DATE	D.	C. A.

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WHITE CITY REDEVELOPMENT

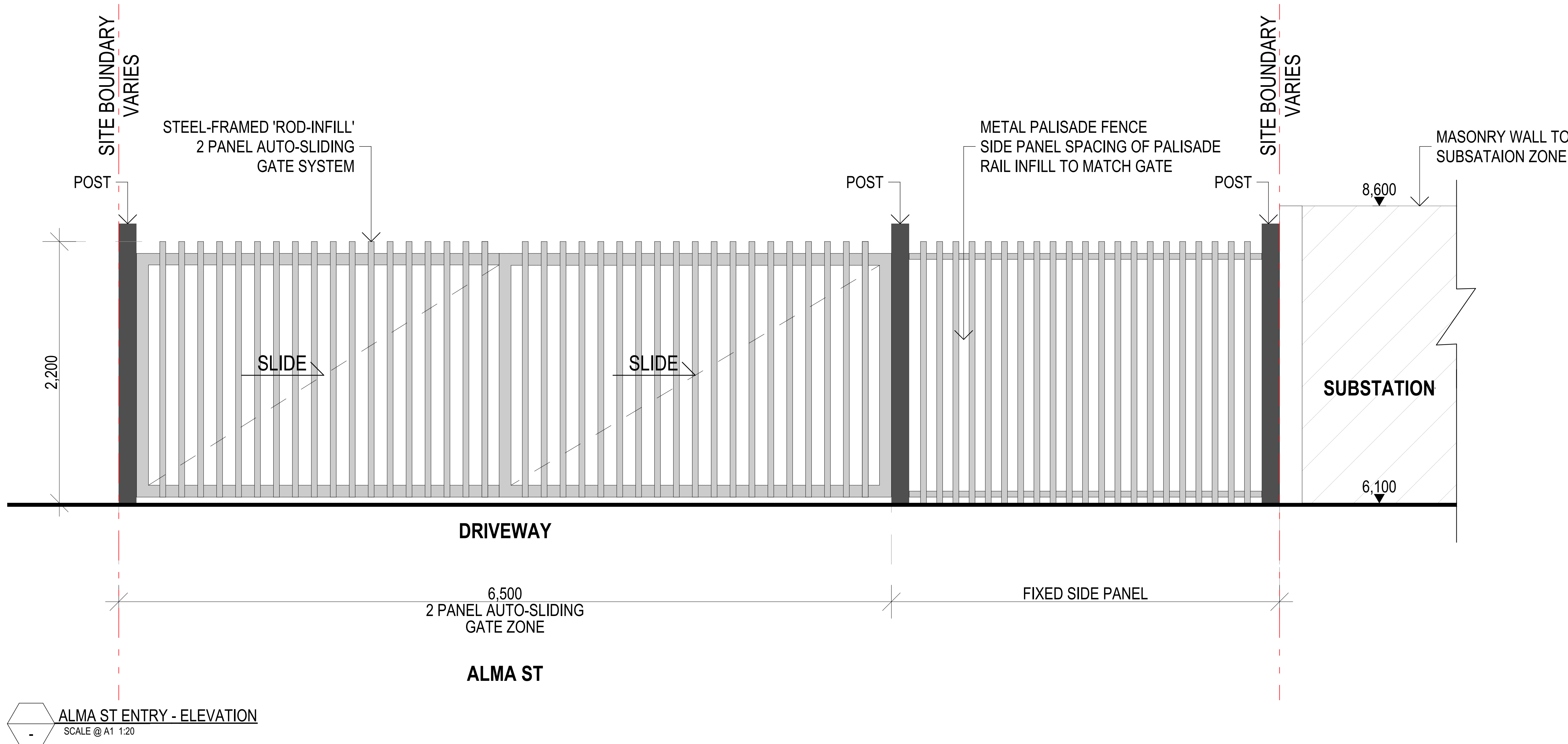
30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

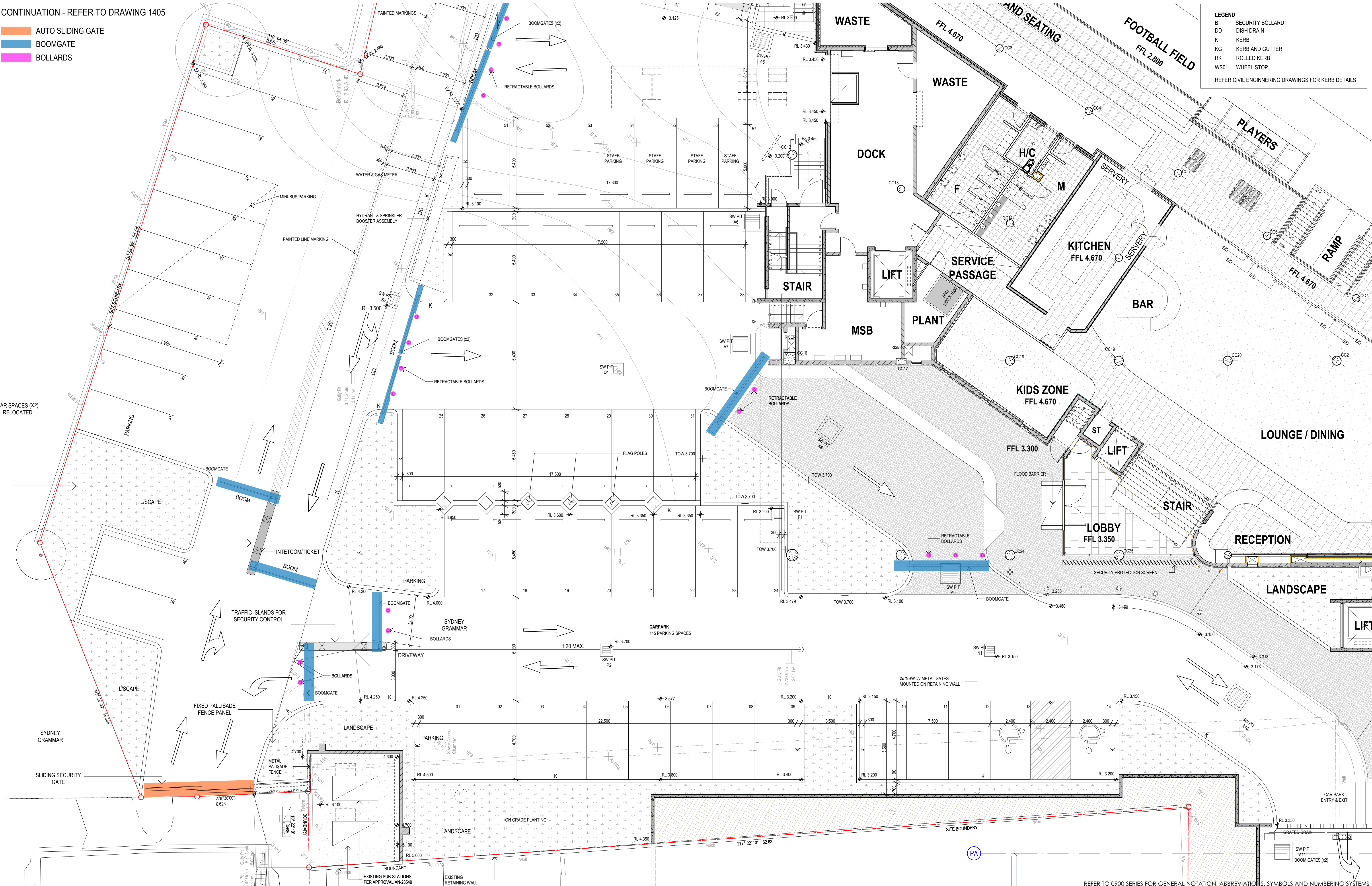
ALMA STREET ENTRY GATE ELEVATION

JOB No
5669
DRAWING No
AR-A-2015
ISSUE
01



- AUTO SLIDING GATE
- BOOMGATE
- BOLLARDS

- LEGEND
- B SECURITY BOLLARD
 - DD DISH DRAIN
 - K KERB
 - KG KERB AND GUTTER
 - RK ROLLED KERB
 - WS01 WHEEL STOP
- REFER CIVIL ENGINEERING DRAWINGS FOR KERB DETAILS



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CLIENT
HAKOAH
DEVELOPMENT MANAGER
P+i

MACCABI TENNIS
maccabi tennis
WHITE CITY

SCALE 1:100 @ A1
N

GENERAL NOTES

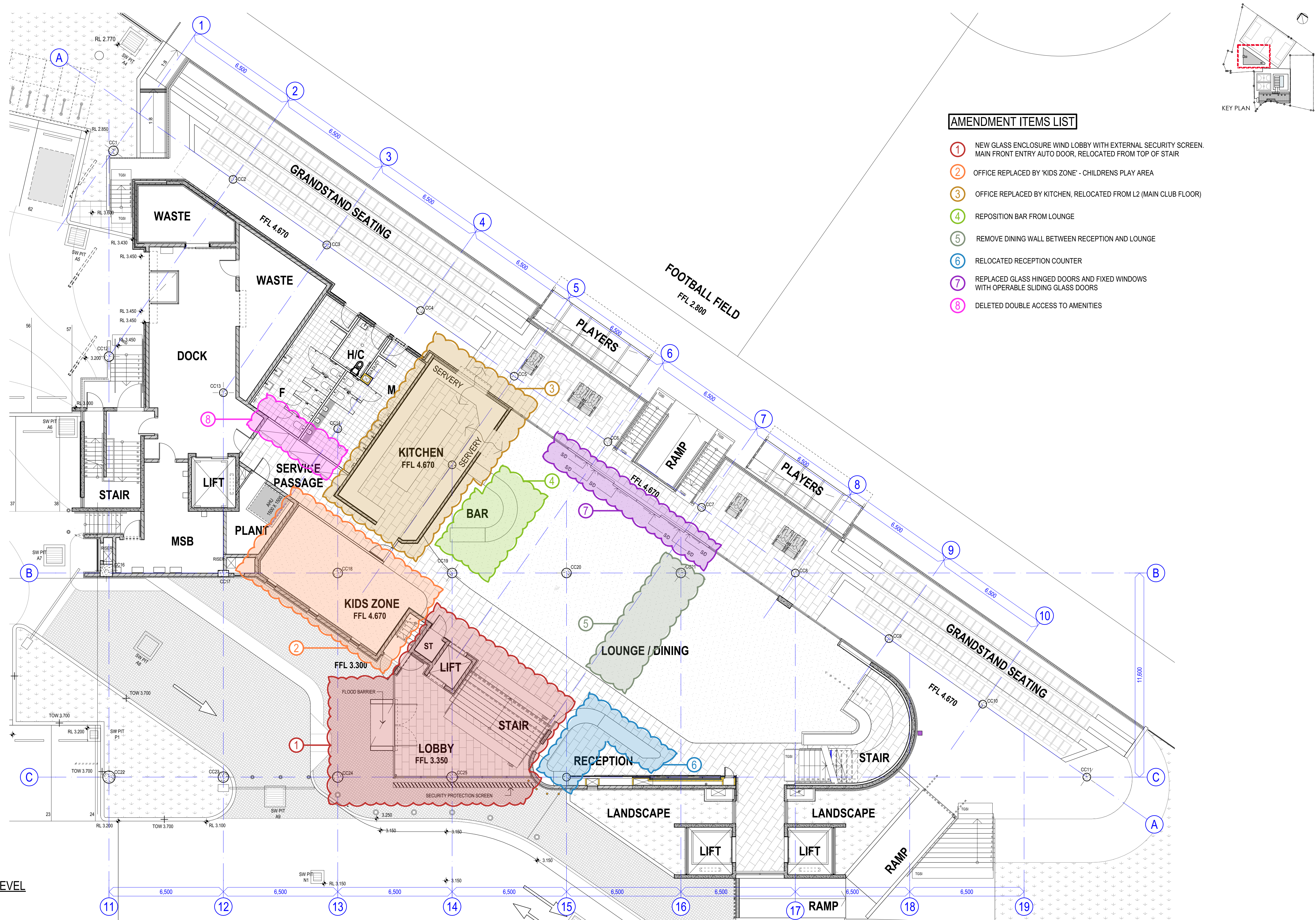
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REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT
30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB
DRAWING TITLE
EXTERNAL SECURITY INFRASTRUCTURE PLAN
JOB No 5669
DRAWING No AR-A-2016
ISSUE 02



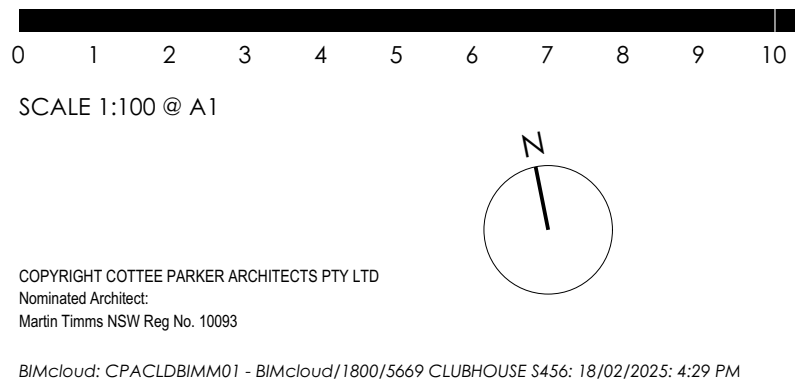
AMENDMENT ITEMS LIST

- 1 NEW GLASS ENCLOSURE WIND LOBBY WITH EXTERNAL SECURITY SCREEN. MAIN FRONT ENTRY AUTO DOOR, RELOCATED FROM TOP OF STAIR
- 2 OFFICE REPLACED BY 'KIDS ZONE' - CHILDRENS PLAY AREA
- 3 OFFICE REPLACED BY KITCHEN, RELOCATED FROM L2 (MAIN CLUB FLOOR)
- 4 REPOSITION BAR FROM LOUNGE
- 5 REMOVE DINING WALL BETWEEN RECEPTION AND LOUNGE
- 6 RELOCATED RECEPTION COUNTER
- 7 REPLACED GLASS HINGED DOORS AND FIXED WINDOWS WITH OPERABLE SLIDING GLASS DOORS
- 8 DELETED DOUBLE ACCESS TO AMENITIES

CLUB - ENTRY LEVEL
SCALE @ A1 1:100

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ISSUE PURPOSE	DATE	D.	C.	A.	CHANGE REGISTER
S456	13/02/2025	RG	BS	BS	

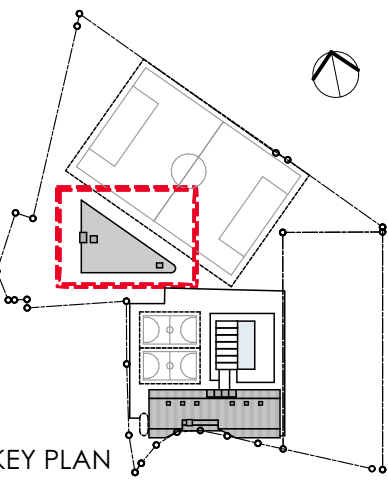
WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB

DRAWING TITLE

S456 FLOOR PLAN - ENTRY LEVEL

JOB No 5669
DRAWING No AR-A-2250
ISSUE 01



AMENDMENT ITEMS LIST

- 1 RELOCATED KITCHEN TO ENTRY LEVEL
- 2 RELOCATED CATERERS KITCHEN TO LEVEL 03
- 3 DELETED RESTAURANT BAR
- 4 REPLACE COMMUNITY MEETING ROOM WITH COMMUNITY OFFICES, CURRENTLY LOCATED AT ENTRY LEVEL AND L03
- 5 CLUB COMMUNITY MULTI - PURPOSE REPLACES PRIVATE DINING
- 6 AMENITIES RELOCATED FROM L02 MEZZANINE TO L02
- 7 BALCONY TERRACE WIDTH REDUCED FROM 3M TO 1M, LENGTH OF TERRACE EXTENDED BY 1 BAY (GRID 4 TO GRID 3)



CLUB - LEVEL 02
SCALE @ A1 1:100

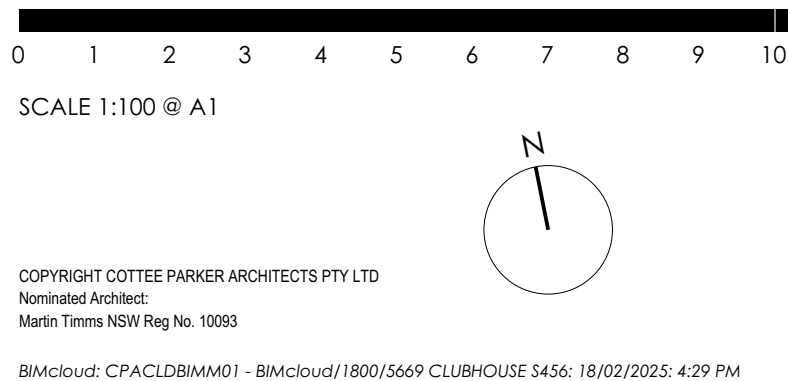
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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

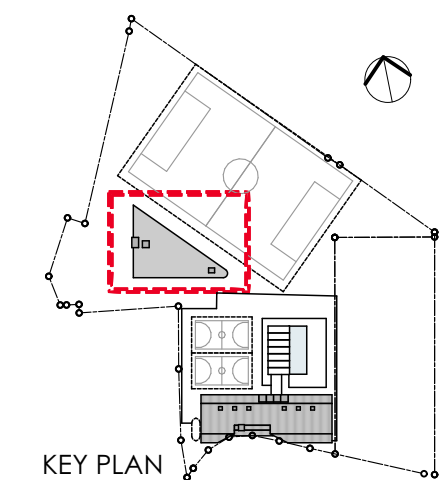
CLIENT - HAKOAH CLUB

DRAWING TITLE

S456 FLOOR PLAN - LEVEL 02

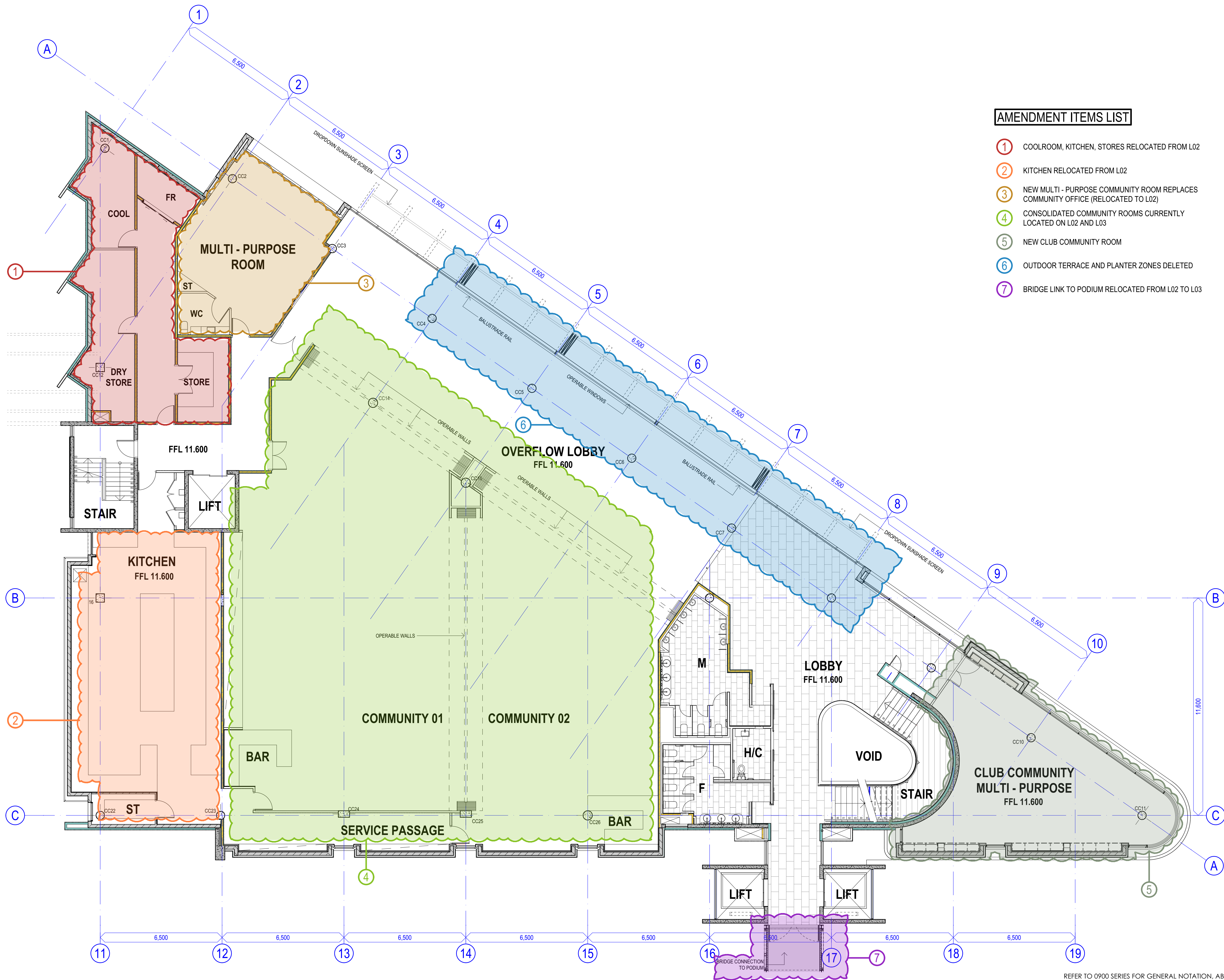
JOB No 5669 DRAWING No AR-A-2251

ISSUE 01



AMENDMENT ITEMS LIST

- 1 COOLROOM, KITCHEN, STORES RELOCATED FROM L02
- 2 KITCHEN RELOCATED FROM L02
- 3 NEW MULTI - PURPOSE COMMUNITY ROOM REPLACES COMMUNITY OFFICE (RELOCATED TO L02)
- 4 CONSOLIDATED COMMUNITY ROOMS CURRENTLY LOCATED ON L02 AND L03
- 5 NEW CLUB COMMUNITY ROOM
- 6 OUTDOOR TERRACE AND PLANTER ZONES DELETED
- 7 BRIDGE LINK TO PODIUM RELOCATED FROM L02 TO L03



CLUB - LEVEL 03
SCALE @ A1 1:100

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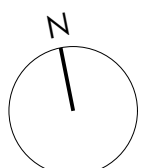


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SCALE 1:100 @ A1



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S456	13/02/2025	RG	BS	BS	

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

S456 FLOOR PLAN - LEVEL 03

JOB No

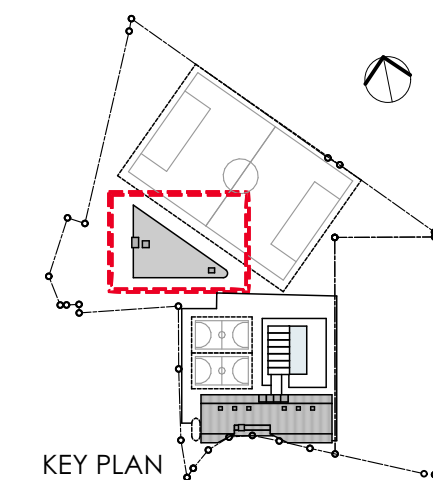
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DRAWING No

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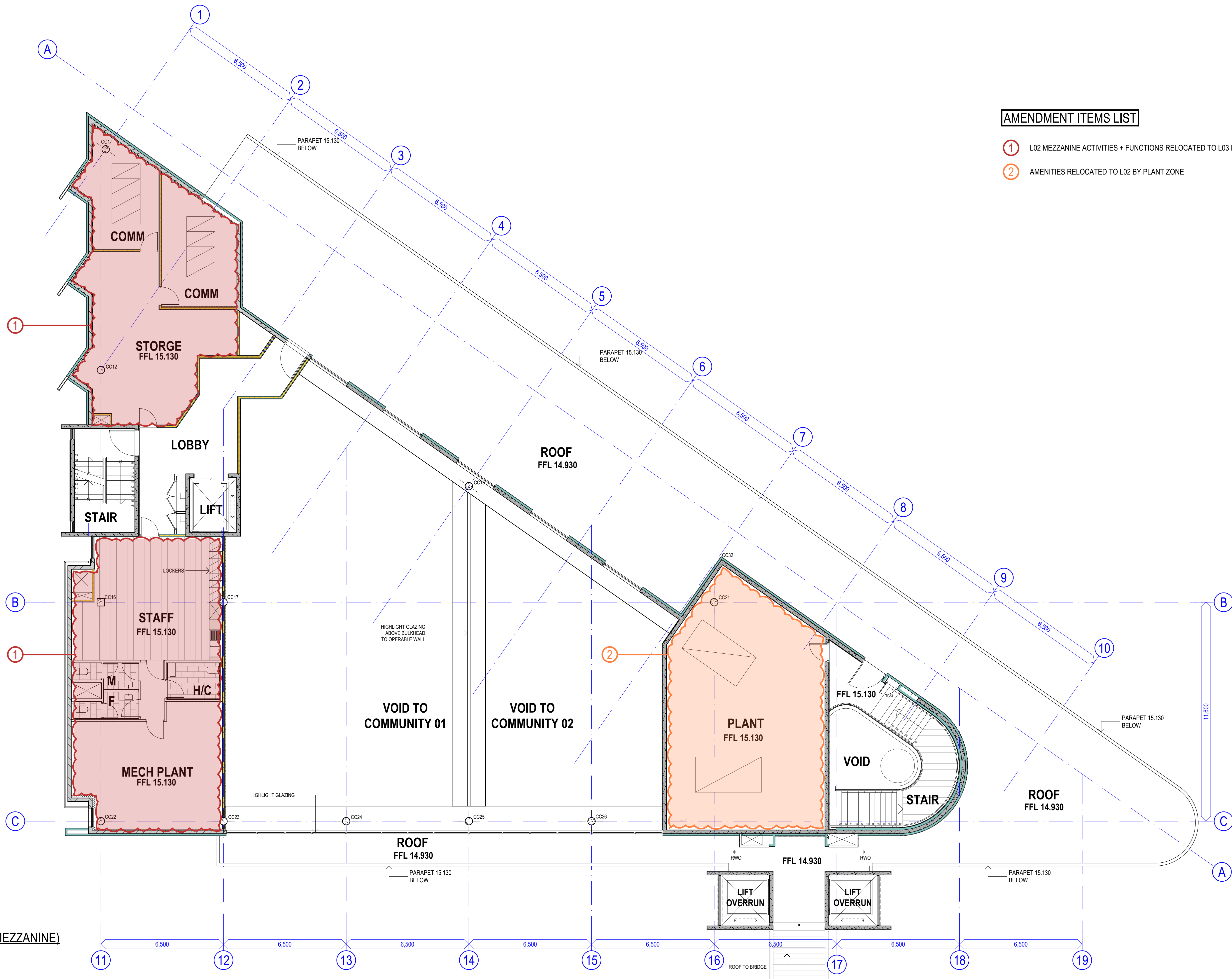
ISSUE

01



AMENDMENT ITEMS LIST

- 1 L02 MEZZANINE ACTIVITIES + FUNCTIONS RELOCATED TO L03 MEZZANINE
- 2 AMENITIES RELOCATED TO L02 BY PLANT ZONE



CLUB - LEVEL 03 (MEZZANINE)
SCALE 1:100 @ A1

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

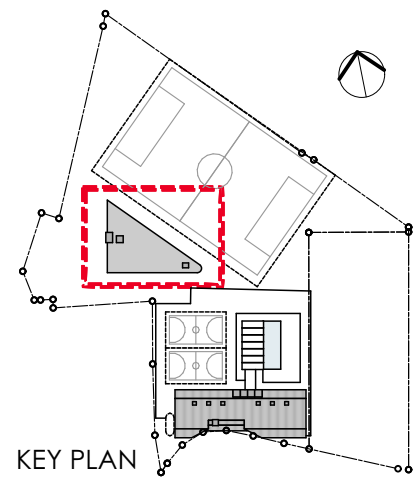
CLIENT - HAKOAH CLUB

DRAWING TITLE

S456 FLOOR PLAN - LEVEL 03 (MEZZANINE)

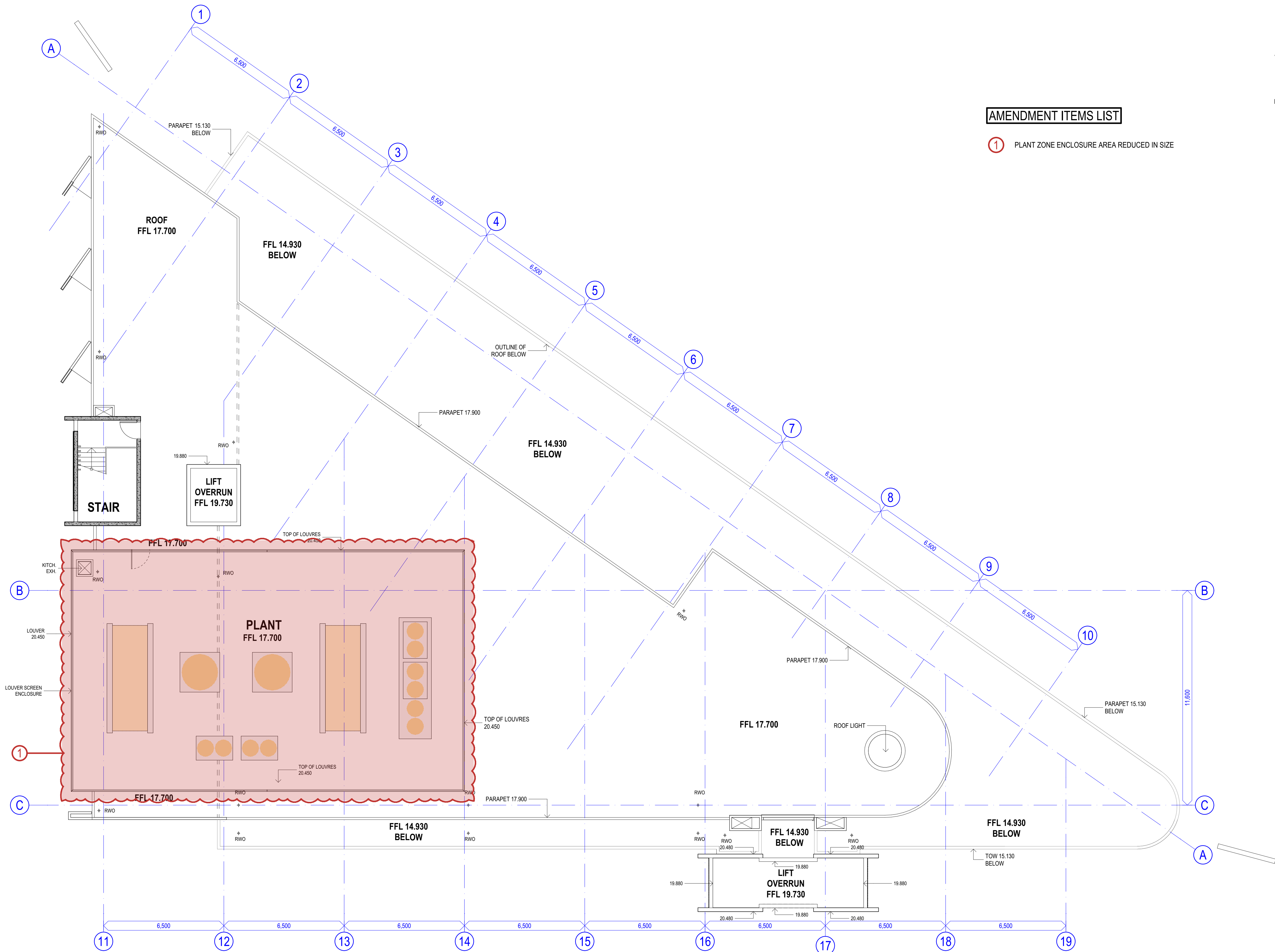
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DRAWING No AR-A-2253
ISSUE 01

EXPLANATORY NOTES
13/02/2025 RG BS BS
DATE D. C. A. CHANGE REGISTER
S456



AMENDMENT ITEMS LIST

- ① PLANT ZONE ENCLOSURE AREA REDUCED IN SIZE



CLUB - ROOF
SCALE @ A1 1:100

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S456	13/02/2025	RG	BS	BS	

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WHITE CITY REDEVELOPMENT

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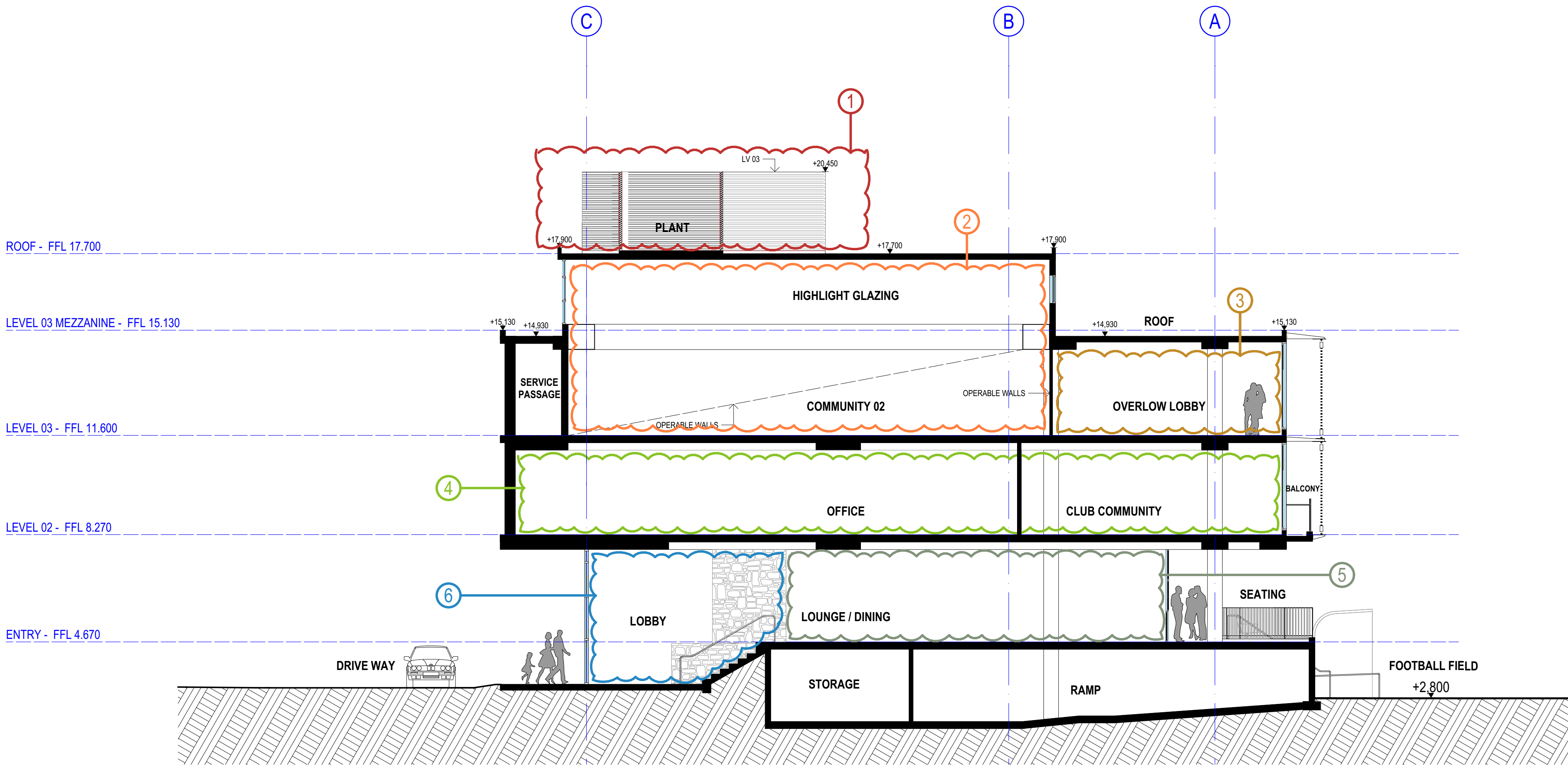
CLIENT - HAKOAH CLUB

DRAWING TITLE

S456 FLOOR PLAN - ROOF

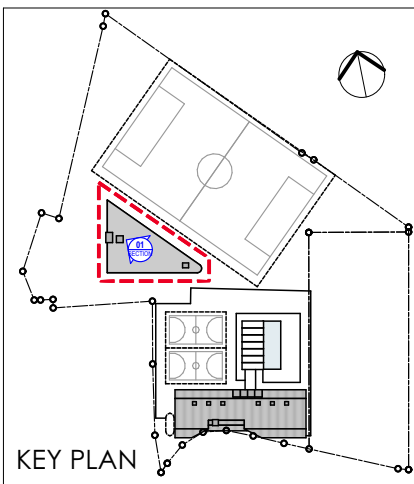
JOB No 5669
DRAWING No AR-A-2254
ISSUE 01

CLUB SECTION 1
SCALE @ A1 1:100



AMENDMENT ITEMS LIST

1. ROOF PLANT REDUCED IN SIZE. ENCLOSING SCREEN REDUCED IN HEIGHT FROM RL 22.000 TO RL 20.450.
2. RELOCATE CLUB COMMUNITY SPACE FROM L02 TO L03.
3. OVERFLOW LOBBY ZONE REPLACES OFFICE AT L03.
4. OFFICE/CLUB COMMUNITY RELOCATED FROM L03 TO L02.
5. LOUNGE/DINING ZONE INCREASED IN AREA
6. WIND LOBBY ADDED. MAIN FRONT ENTRY AUTO-DOORS RELOCATED FROM TOP OF STAIR



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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

ANNOTATED DETAIL SECTION 2 - CLUB

JOB No

5669

DRAWING No

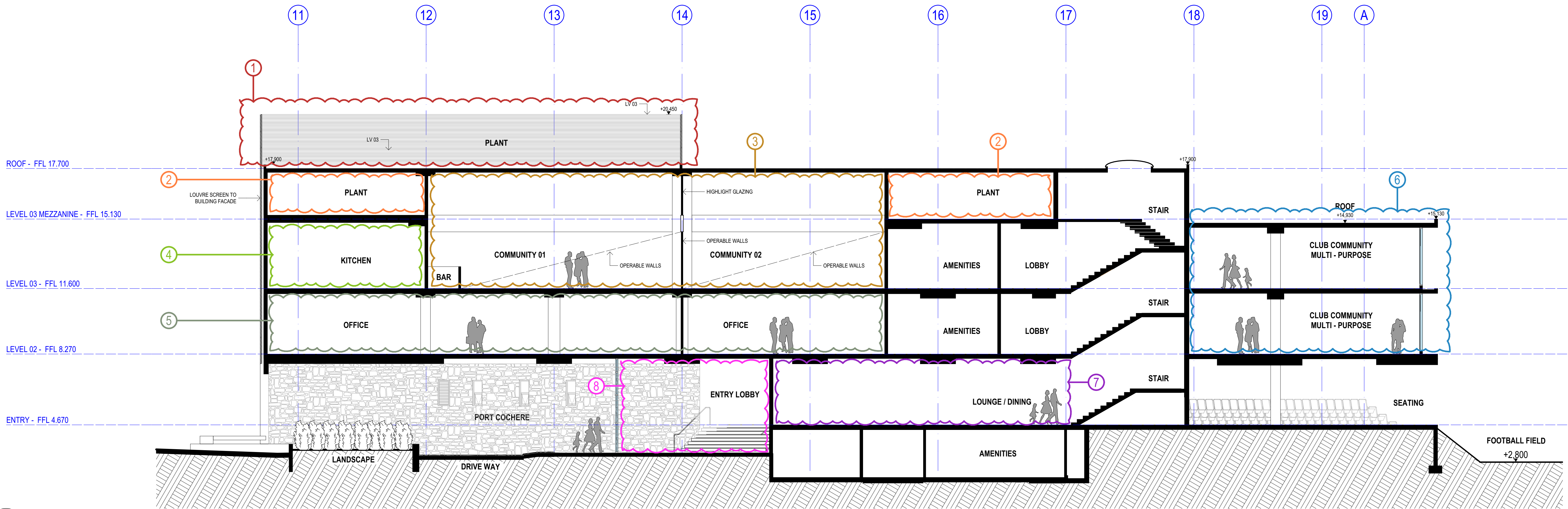
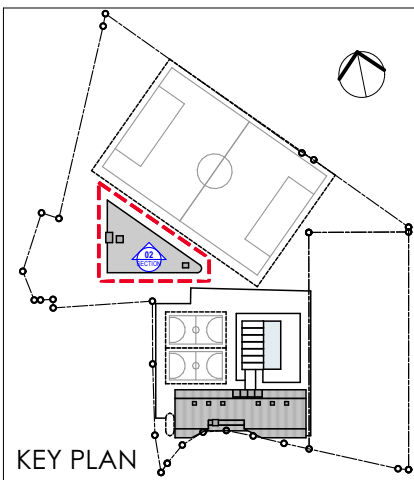
AR-A-3306

ISSUE

01

AMENDMENT ITEMS LIST

- 1 ROOF PLANT REDUCED IN SIZE. ENCLOSURE SCREEN REDUCED IN HEIGHT FROM RL 22.000 TO RL 20.450.
- 2 RELOCATE PLANT ROOMS FROM L02 MEZZANINE TO L03 MEZZANINE.
- 3 RELOCATE CLUB COMMUNITY SPACE FROM L02 TO L03.
- 4 RELOCATE KITCHEN FROM L02 TO L03.
- 5 OFFICE SPACE RELOCATED FROM L03 TO L02.
- 6 CURRENT DOUBLE VOLUME HEIGHT MULTI - PURPOSE ROOM RECONFIGURED TO 2x3m HEIGHT MULTI - PURPOSE SPACES ON L02 AND L03.
- 7 LOUNGE/DINING ZONE INCREASED IN AREA
- 8 WIND LOBBY ADDED. MAIN FRONT ENTRY AUTO-DOORS RELOCATED FROM TOP OF STAIR.



DETAIL SECTION 2 - CLUB

SCALE @ A1 1:100

GENERAL NOTES

- All construction to comply with Building Code of Australia and applicable Australian standards.
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- Do not scale from this drawing - use figured dimensions

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- Builder and or Subcontractor to confirm setbacks, levels, setbacks and critical dimensions on site including all services fixtures and fittings prior to and during the works. Notify Architect to any conflicts discovered prior to proceeding.
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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

ANNONTATED NORTH EAST ELEVATION - CLUB

JOB No

5669

DRAWING No

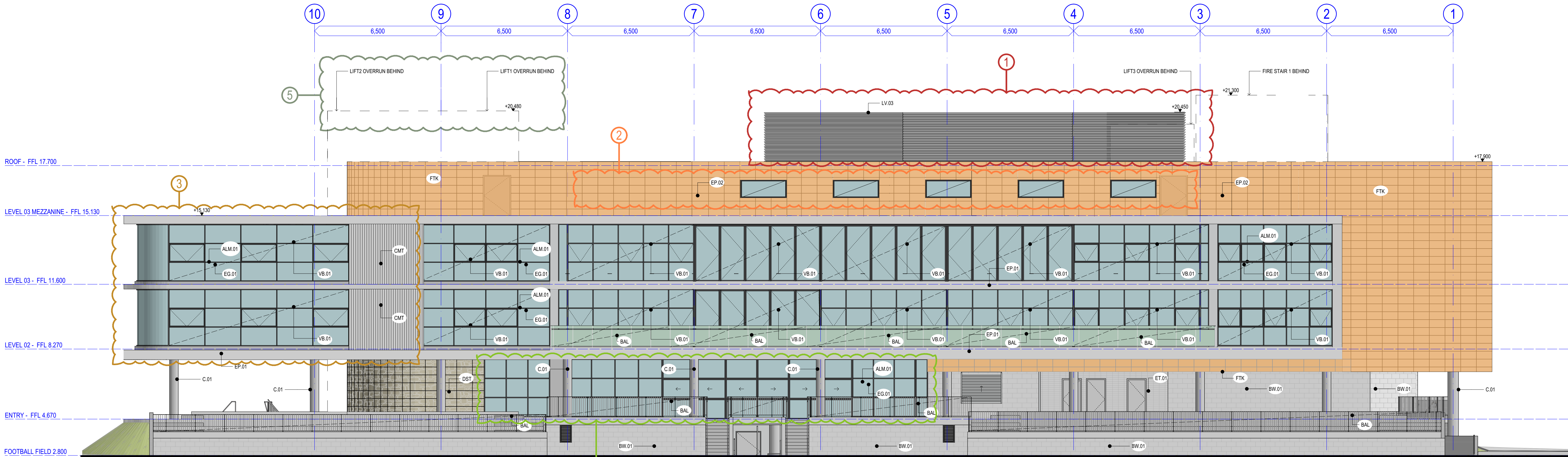
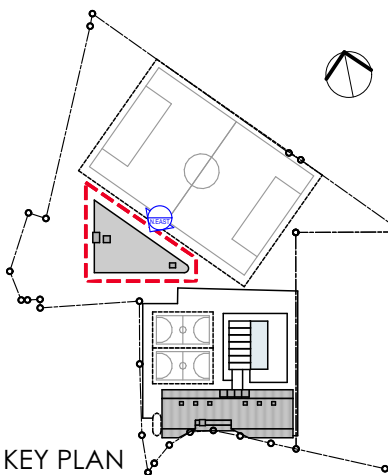
AR-A-3201

ISSUE

01

AMENDMENT ITEMS LIST

- ROOF PLANT ENCLOSURE SCREEN REDUCED IN HEIGHT FROM RL 22.000 TO RL 20.450.
- LINEAR GLAZED WINDOW WALLING REPLACED BY 'PUNCTURED' HIGHLIGHT WINDOW PANELS.
- CURRENT DOUBLE VOLUME HEIGHT MULTI - PURPOSE ROOM RECONFIGURED TO 2x3m HEIGHT MULTI - PURPOSE SPACES ON L02 AND L03.
- GLAZING/WINDOW ARRANGEMENT TO CURRENT OFFICE/LOUNGE AT ENTRY LEVEL RECONFIGURED TO FULL HEIGHT SLIDING WINDOW PANELS.
- CLUB LIFTS 1 AND 2 OVERRUN ADJUSTED FROM RL 19.720 TO RL 20.480.



CLUB NORTHEAST ELEVATION

SCALE @ A1 1:100

GENERAL NOTES

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REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

ANNOTATED SOUTHERN ELEVATION - CLUB

JOB No

5669

DRAWING No

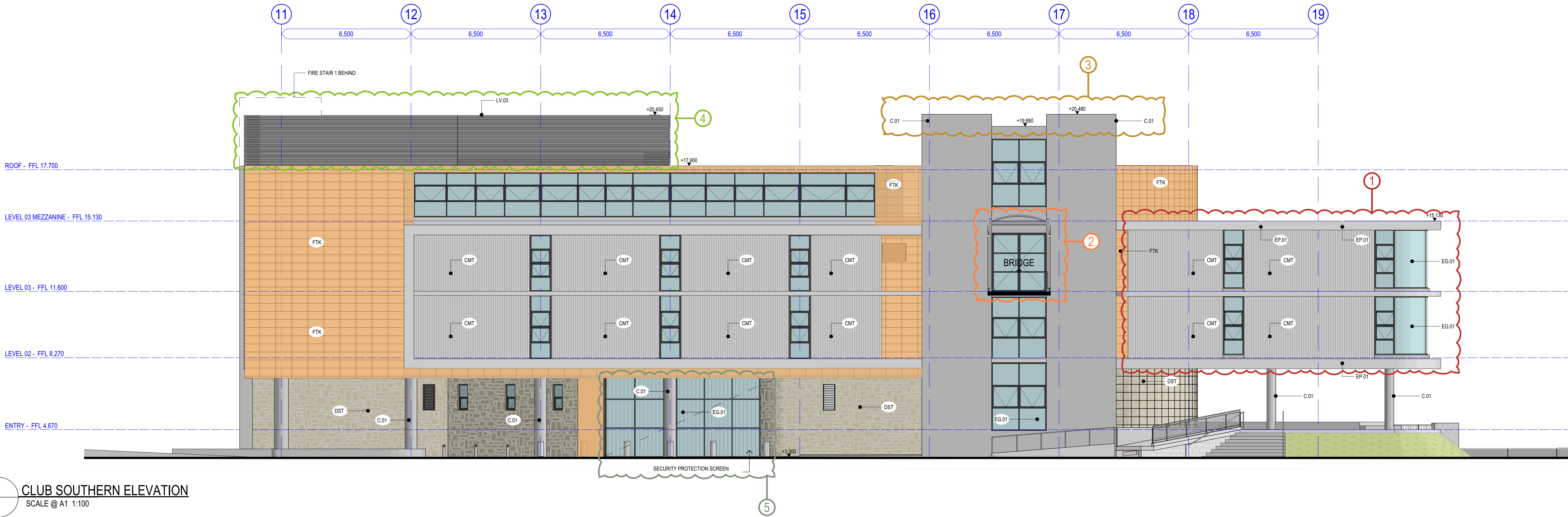
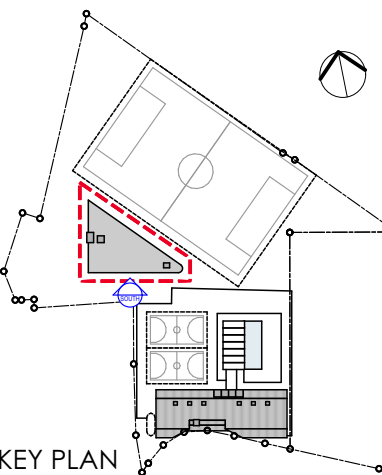
AR-A-3202

ISSUE

01

AMENDMENT ITEMS LIST

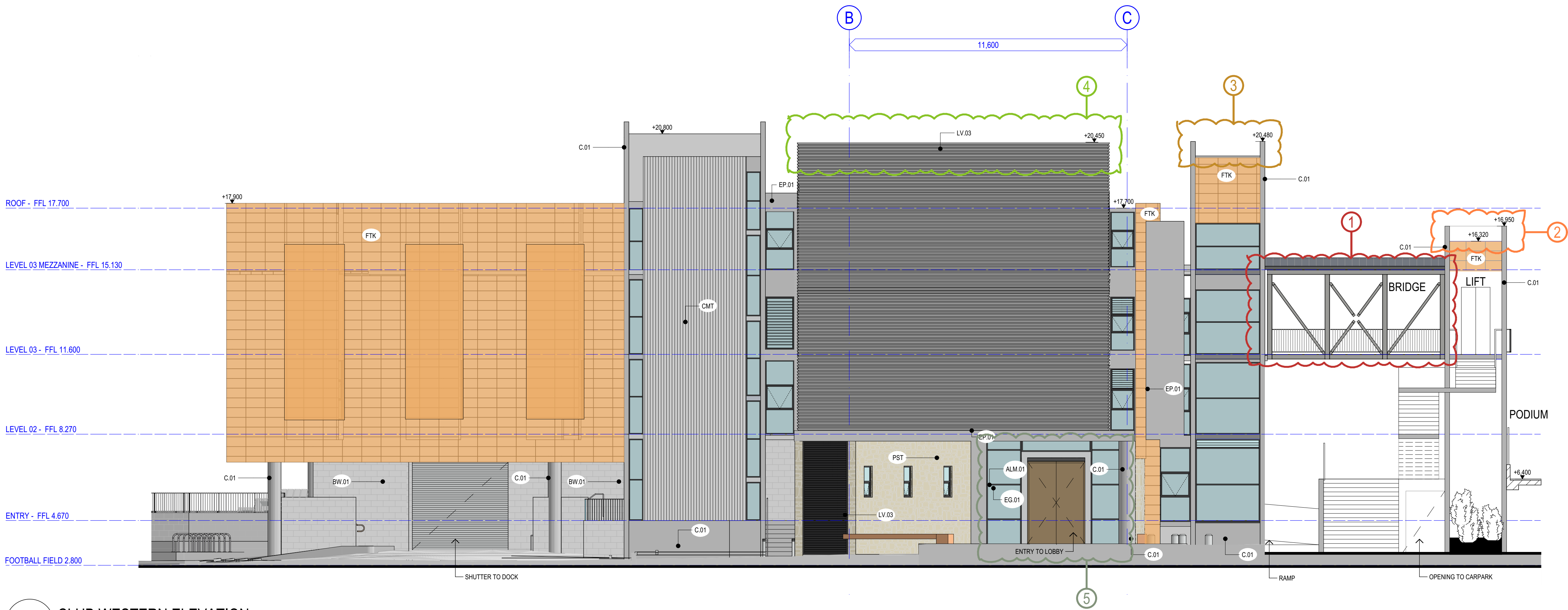
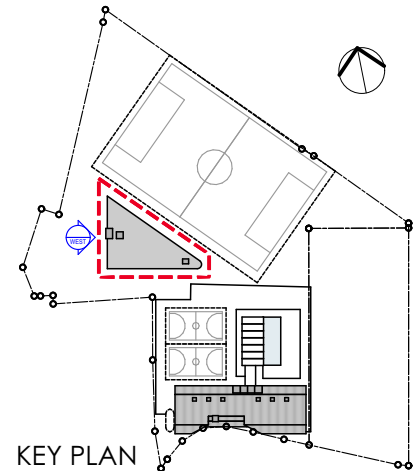
- CURRENT DOUBLE VOLUME HEIGHT MULTI - PURPOSE ROOM RECONFIGURED TO 2x3m HEIGHT MULTI - PURPOSE SPACES ON L02 AND L03.
- BRIDGE CONNECTION FROM CLUB TO PODIUM RELOCATED FROM L02 TO L03.
- CLUB LIFTS 1 AND 2 OVRUN ADJUSTED FROM RL 19.720 TO RL 20.480.
- ROOF PLANT ENCLOSURE SCREEN REDUCED IN HEIGHT FROM RL 22.000 TO RL 20.450.
- WIND LOBBY ADDED. MAIN FRONT ENTRY AUTO-DOORS RELOCATED FROM TOP OF STAIR.



CLUB SOUTHERN ELEVATION
SCALE @ A1 1:100

AMENDMENT ITEMS LIST

- 1 BRIDGE CONNECTION FROM CLUB TO PODIUM RELOCATED FROM L02 TO L03.
- 2 LIFT 5 OVERUN HEIGHT ADJUSTED FROM RL 13.520 TO RL 16.950 TO SUIT BRIDGE RELOCATION.
- 3 CLUB LIFTS 1 AND 2 OVERUN ADJUSTED FROM RL 19.720 TO RL 20.480.
- 4 ROOF PLANT ENCLOSURE SCREEN REDUCED IN HEIGHT FROM RL 22.000 TO RL 20.450.
- 5 WIND LOBBY ADDED. MAIN FRONT ENTRY AUTO-DOORS RELOCATED FROM TOP OF STAIR.



CLUB WESTERN ELEVATION
SCALE @ A1 1:100

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ABN 77 010 924 106
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0 1 2 3 4 5 6 7 8 9 10
SCALE 1:100 @ A1
N
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Notified Architect
Martin Timms NSW Reg No. 10093
BIMcloud: CPACLOBIMM01 - BIMcloud/1800/5669 CLUBHOUSE S456: 26/02/2025 4:37 PM

GENERAL NOTES

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ISSUE PURPOSE
S456
DATE D. C. A. CHANGE REGISTER

REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB

ANNOTATED WEST ELEVATION - CLUB

JOB No 5669
DRAWING No AR-A-3203
ISSUE 01



ALM01

ANODIZED ALUMINIUM WINDOW FRAMES
- SATIN DARK BRONZE



DST

DRY PACK STONE
- RANDOM STONE PATTERN
- GREY PORPHREY



LV03 EPC02

HORIZONTAL LOUVRE SYSTEM
- P/COAT FINISH DULUX
- DARK BRONZE



TF01

TENSIONED FABRIC SHADE STRUCTURE



BW01

FACE EXPOSED BLOCKWORK
- HONED LIMESTONE



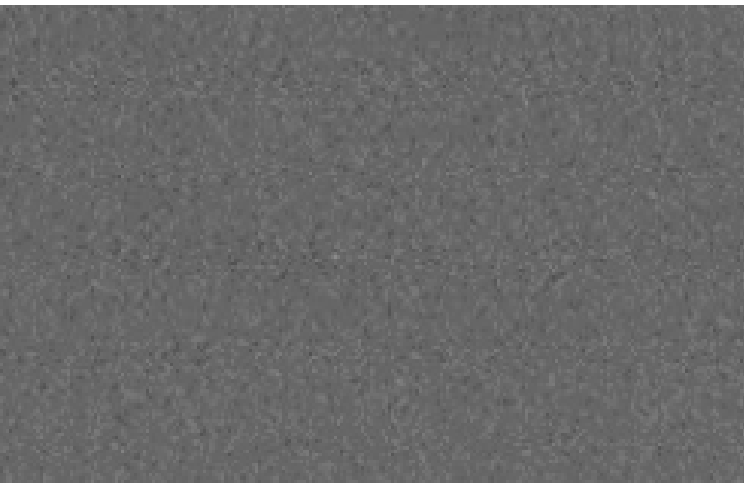
CMT

CEMINTEL CLADDING PANELS
- TERRITORY
- WOODLANDS WHITEWASH



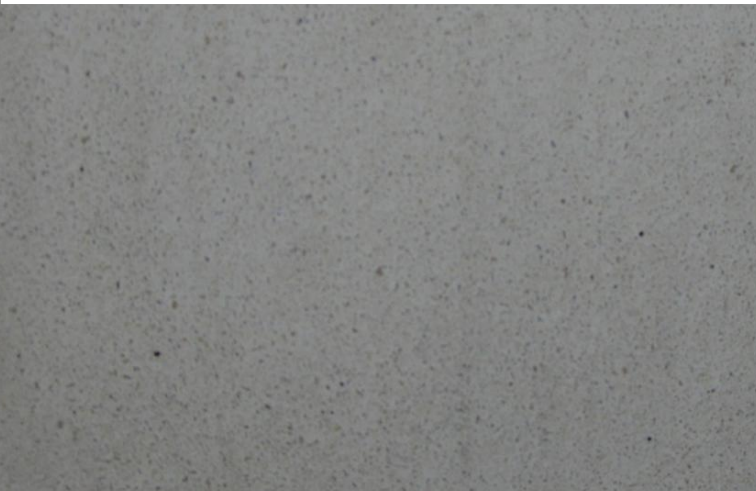
VB01

EXTERNAL FABRIC BLIND SYSTEM



ST01

STRUCTURAL STEEL FRAME
- PAINT FINISH - FERREKO NO-03



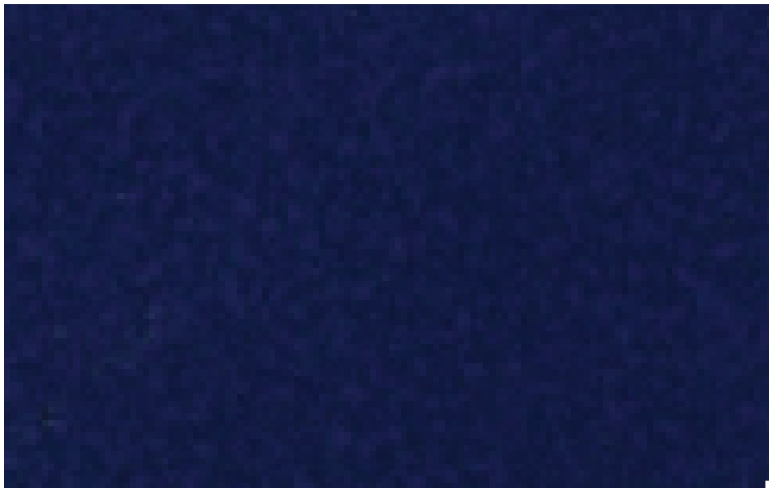
C01

CONCRETE
- OFF-FORM CONCRETE



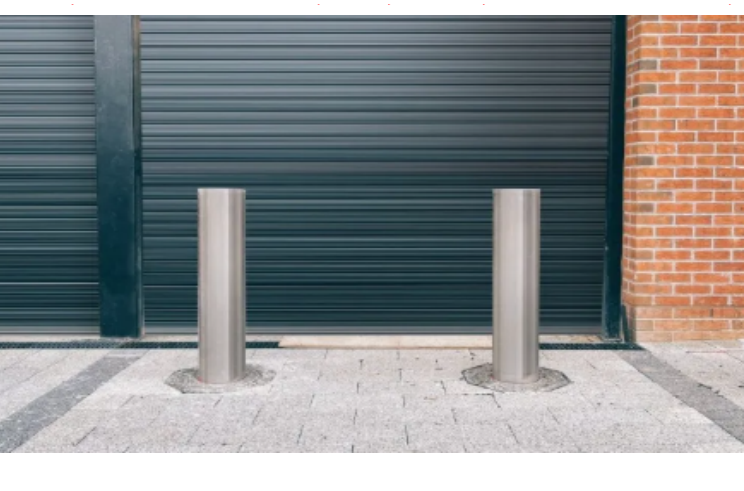
FTK

FRONTEK PORCELAIN CLADDING PANELS
- CANYON



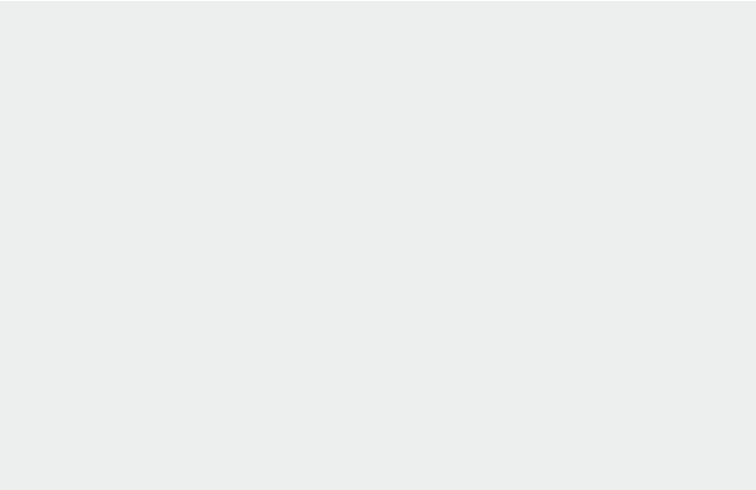
EP03

EXTERNAL PAINT FINISH TO BASKETBALL COURT



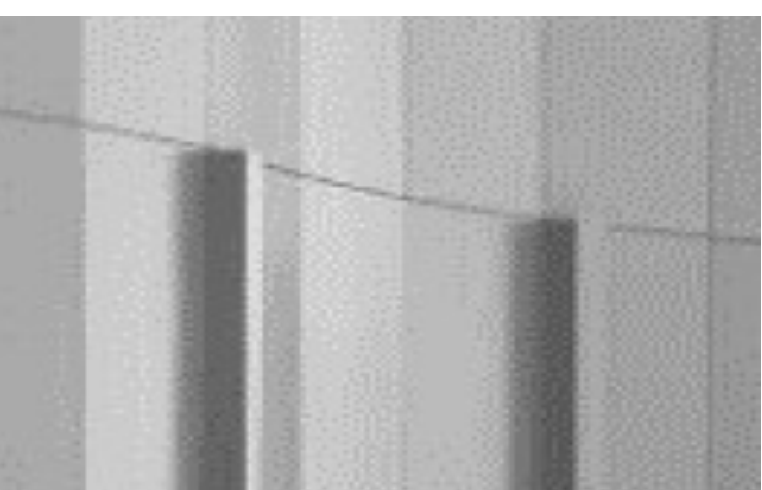
BOL

TRAFFIC BOLLARD



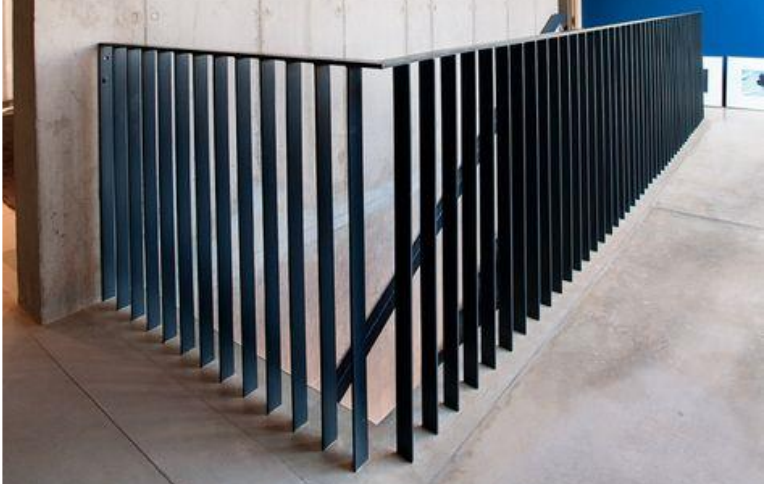
EP01

EXTERNAL PAINT FINIS
- DULUX LEXICON HALF CEMENT RENDER TO CONCRETE OR BLOCKWORK



CFC

CFC CLADDING SHEETS PANELLING
- PAINT FINISH TO MATCH DARK BRONZE P/COAT



BAL01

PALISADE BALUSTRADE
- P/COAT FINISH DULUX
- DARK BRONZE



GATE

AUTOMATIC STEEL FRAMED SLIDING GATE
- BLACK P/COAT FINISH



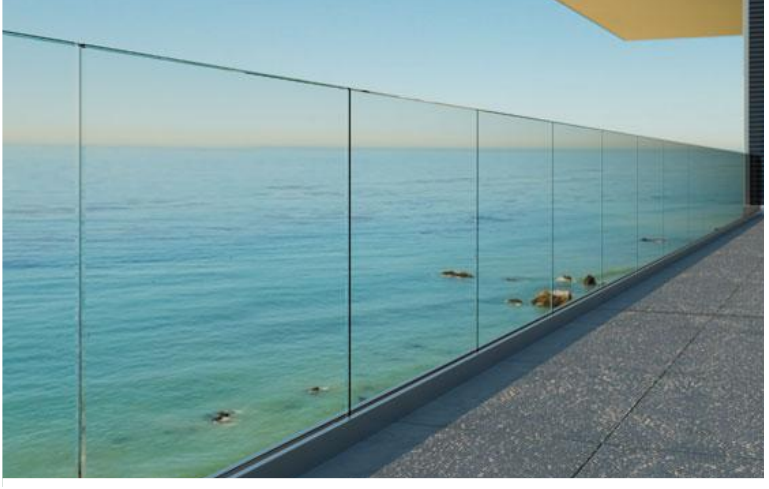
EG01

GLAZING
- GREEN TINT WINDOW GLAZING
- PERFORMANCE PER SECTION J REQUIREMENT



BW02

FAIR FACE BLOCKWORK
- NATURAL GREY



BAL02

GLASS BALUSTRADE
- ST/STEEL POST FRAME



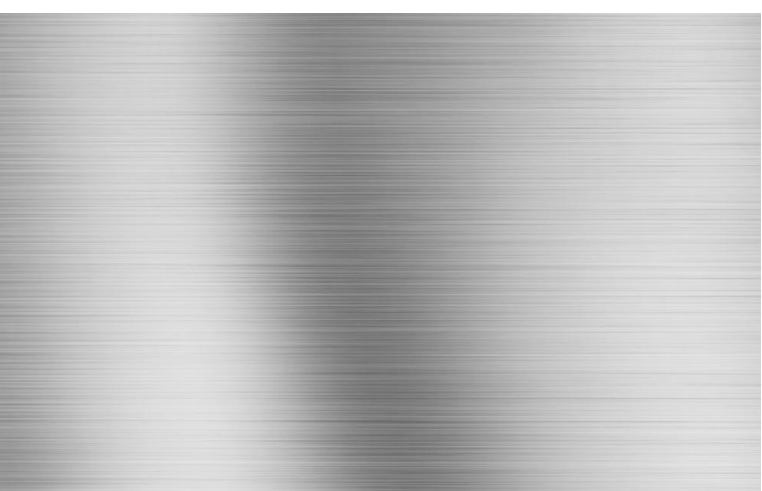
FENCE

METAL FRAMED PALISADE FENCING
- BLACK P/COAT FINISH



ET01

EXTERNAL WALL TILE
- WHITE GLAZED TILE



SS01

STAINLESS STEEL



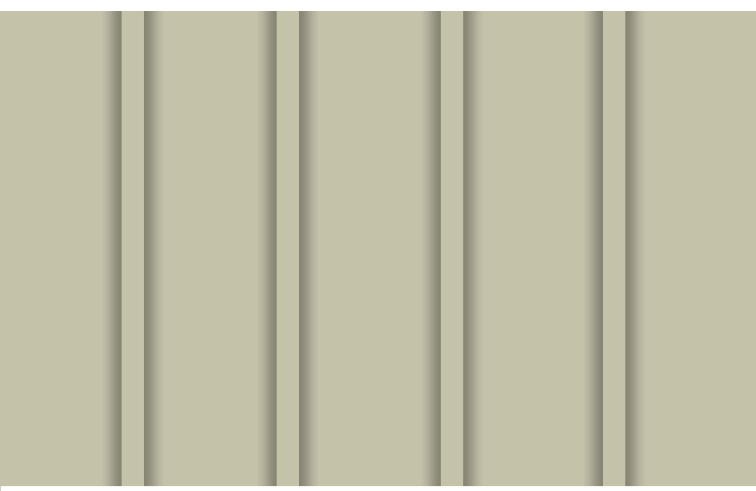
PA01

MASONRY PAVER
- BLUESTONE COLOUR



BOOM

AUTOMATIC TRAFFIC BOOM GATE



MC01

METAL CLADDING
- STANDING SEAM
- COLORBOND - EVENING HAZE



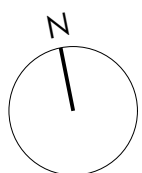
LV01 EPC02

AWNING LOUVRE SYSTEM
- P/COAT FINISH DULUX
- DARK BRONZE



TF01

TIMBER DECKING



GENERAL NOTES

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REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

LICENSED AREA FLOOR PLAN - ENTRY LEVEL (CLUB)

JOB No

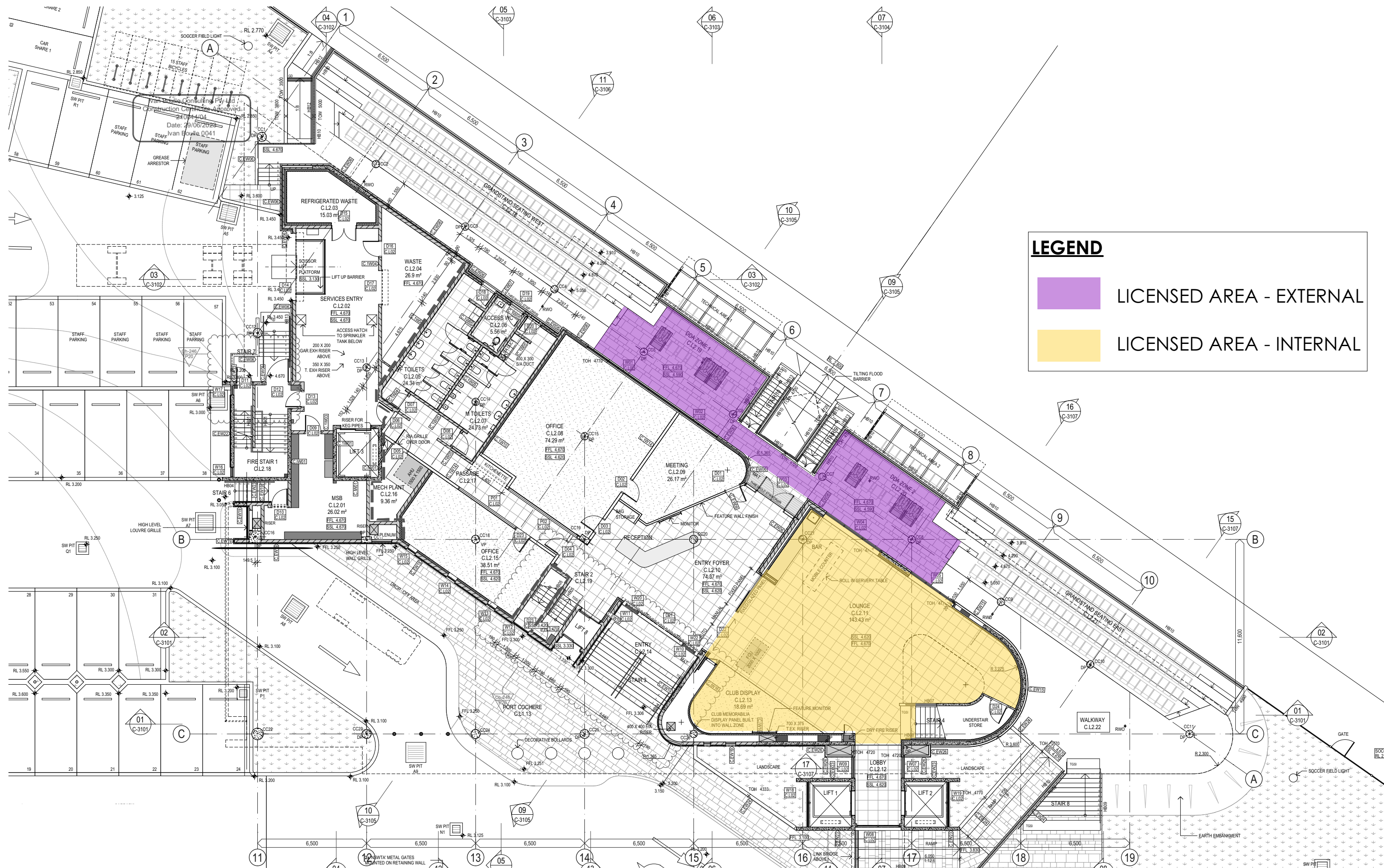
5669

DRAWING No

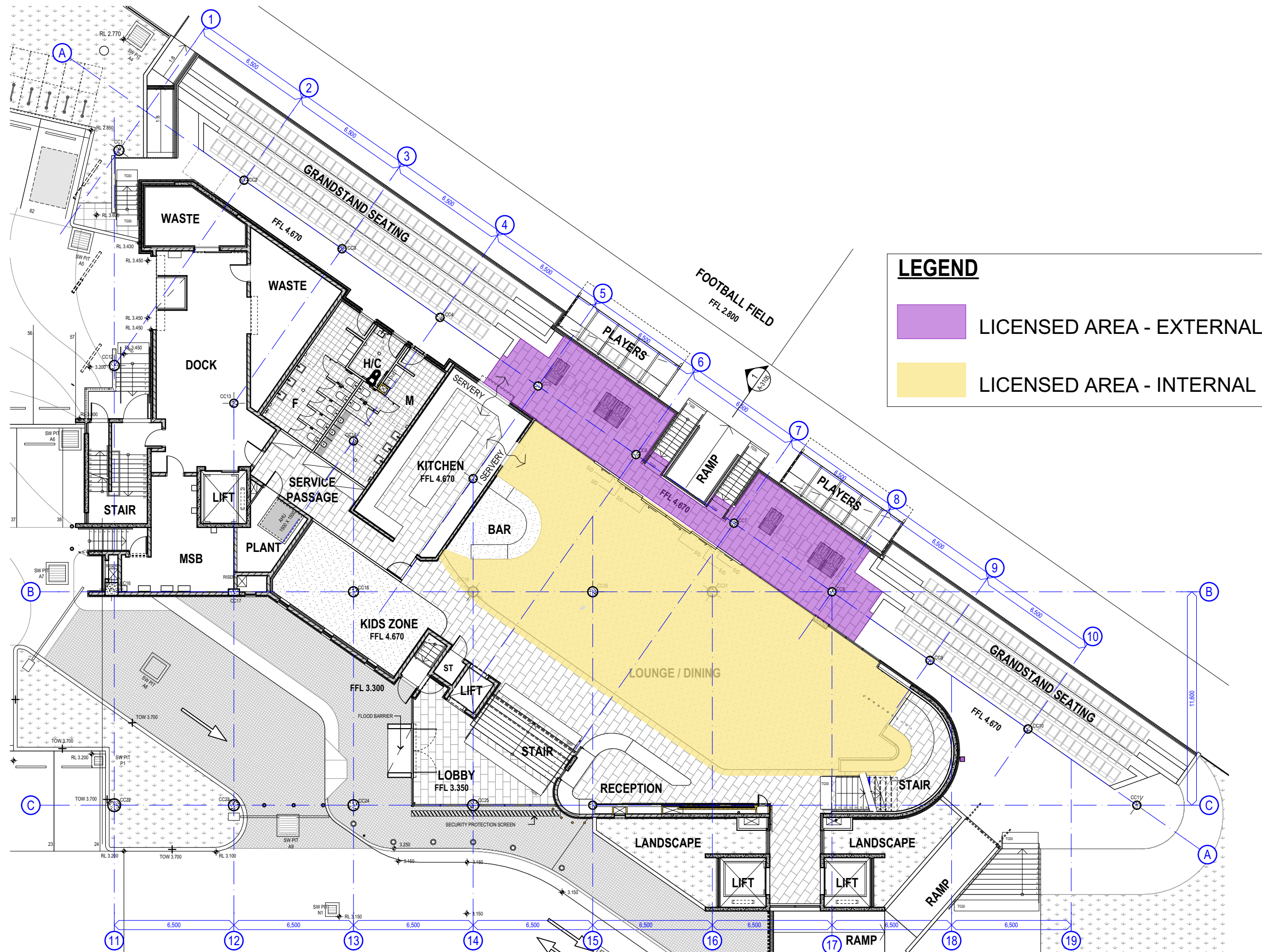
AR-A-8001

ISSUE

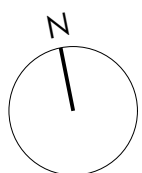
01



ENTRY LEVEL - CURRENT APPROVED LICENSED AREA
SCALE @ A1 1:200



ENTRY LEVEL (CLUB) - PROPOSED LICENSED AREA
SCALE @ A1 1:200



GENERAL NOTES

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

LICENSED AREA FLOOR PLAN - LEVEL 2 (CLUB)

JOB No

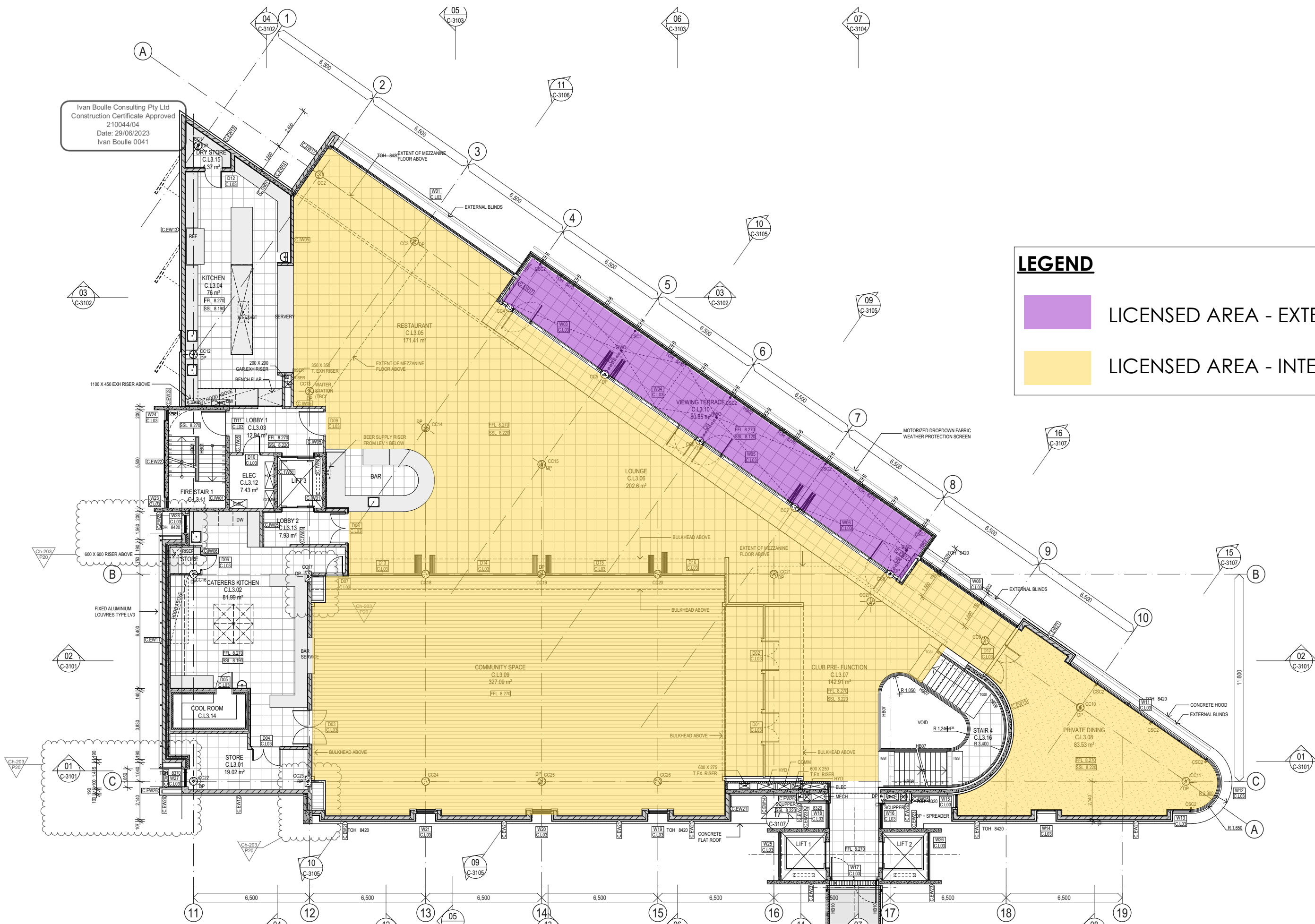
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DRAWING No

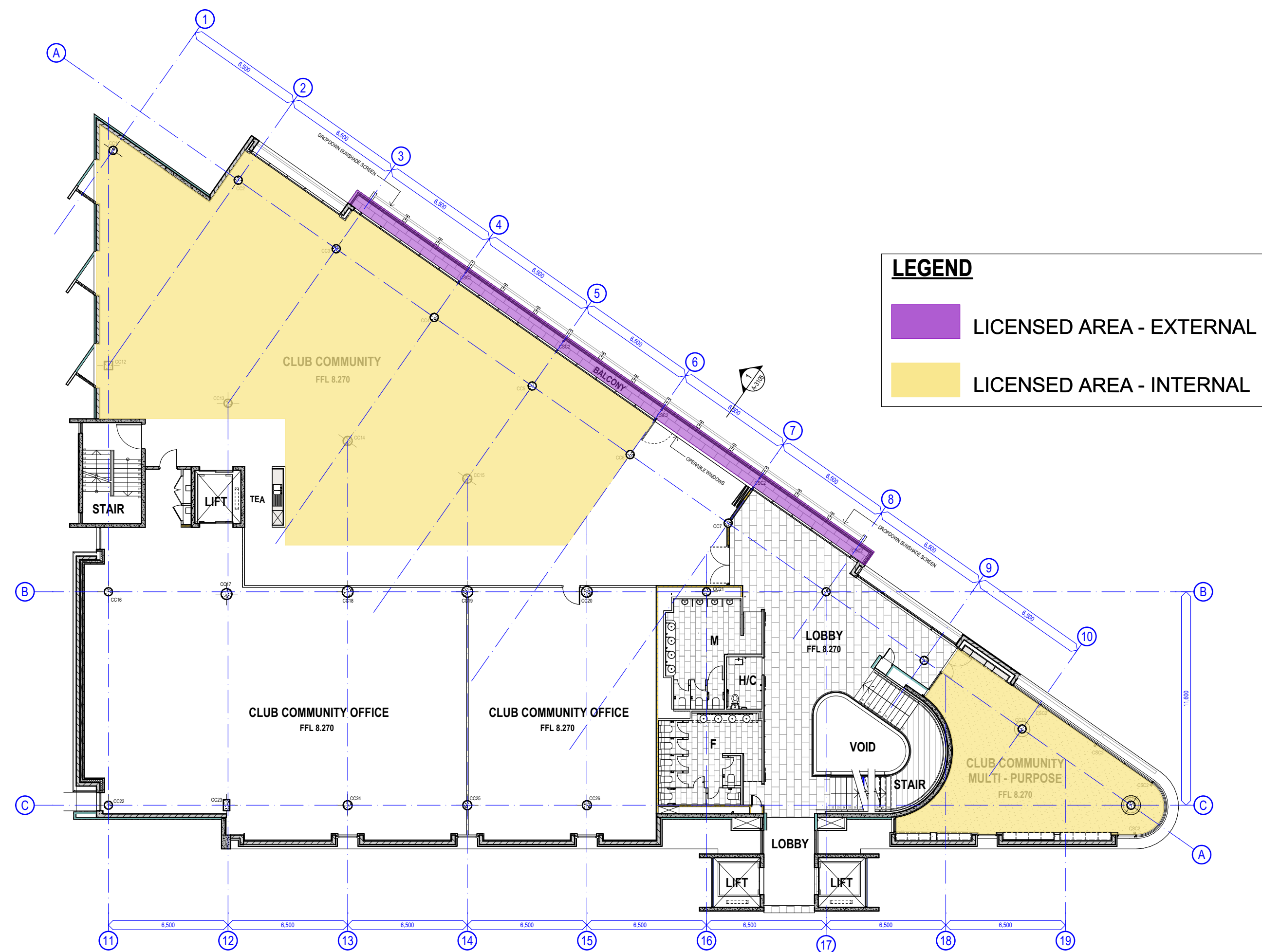
AR-A-8002

ISSUE

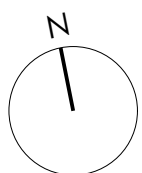
01



LEVEL 2 - CURRENT APPROVED LICENSED AREA
SCALE @ A1 1:200



LEVEL 2 (CLUB) - PROPOSED LICENSED AREA
SCALE @ A1 1:200



GENERAL NOTES

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

LICENSED AREA FLOOR PLAN - LEVEL 3 (CLUB)

JOB No

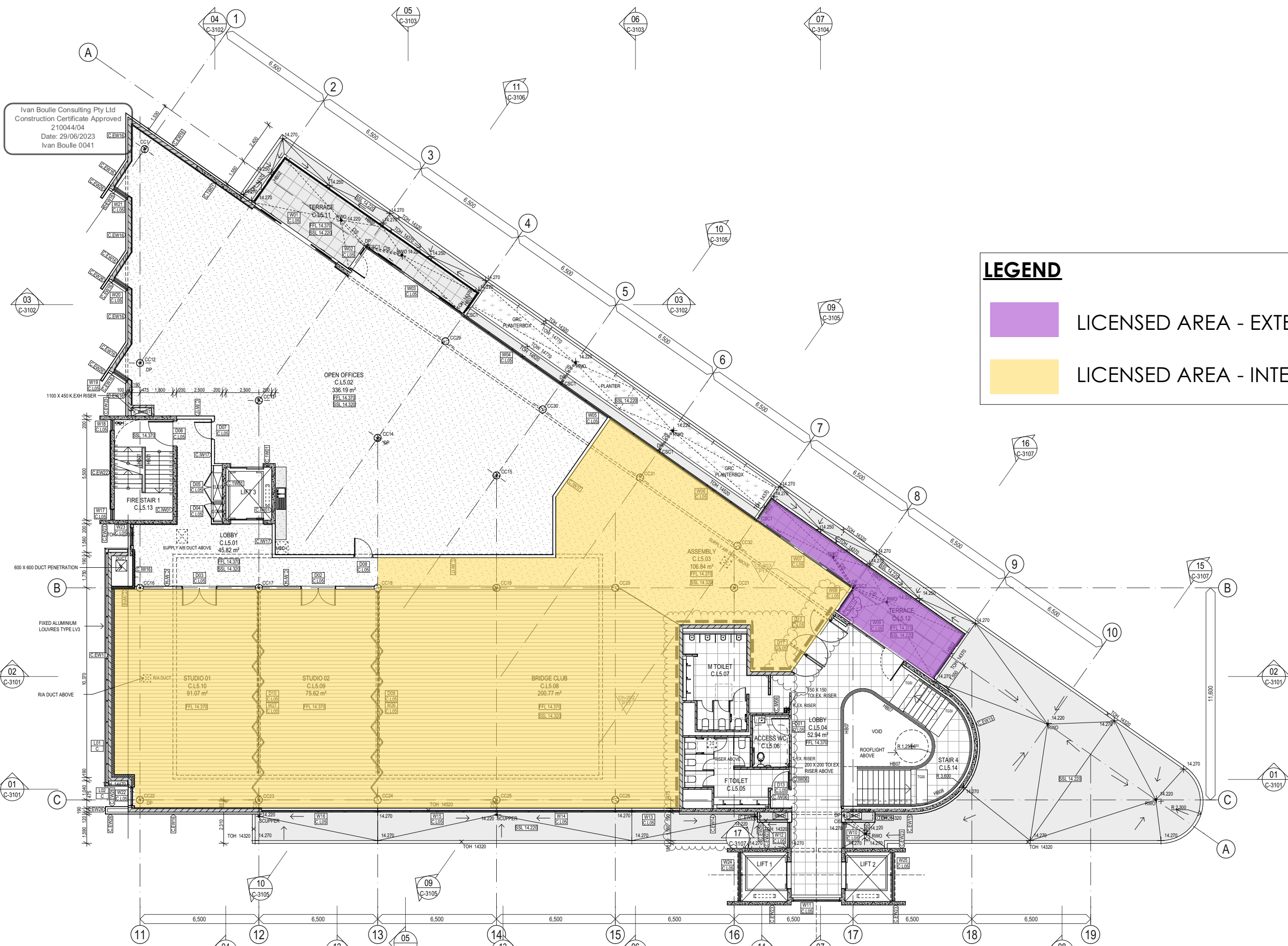
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DRAWING No

AR-A-8003

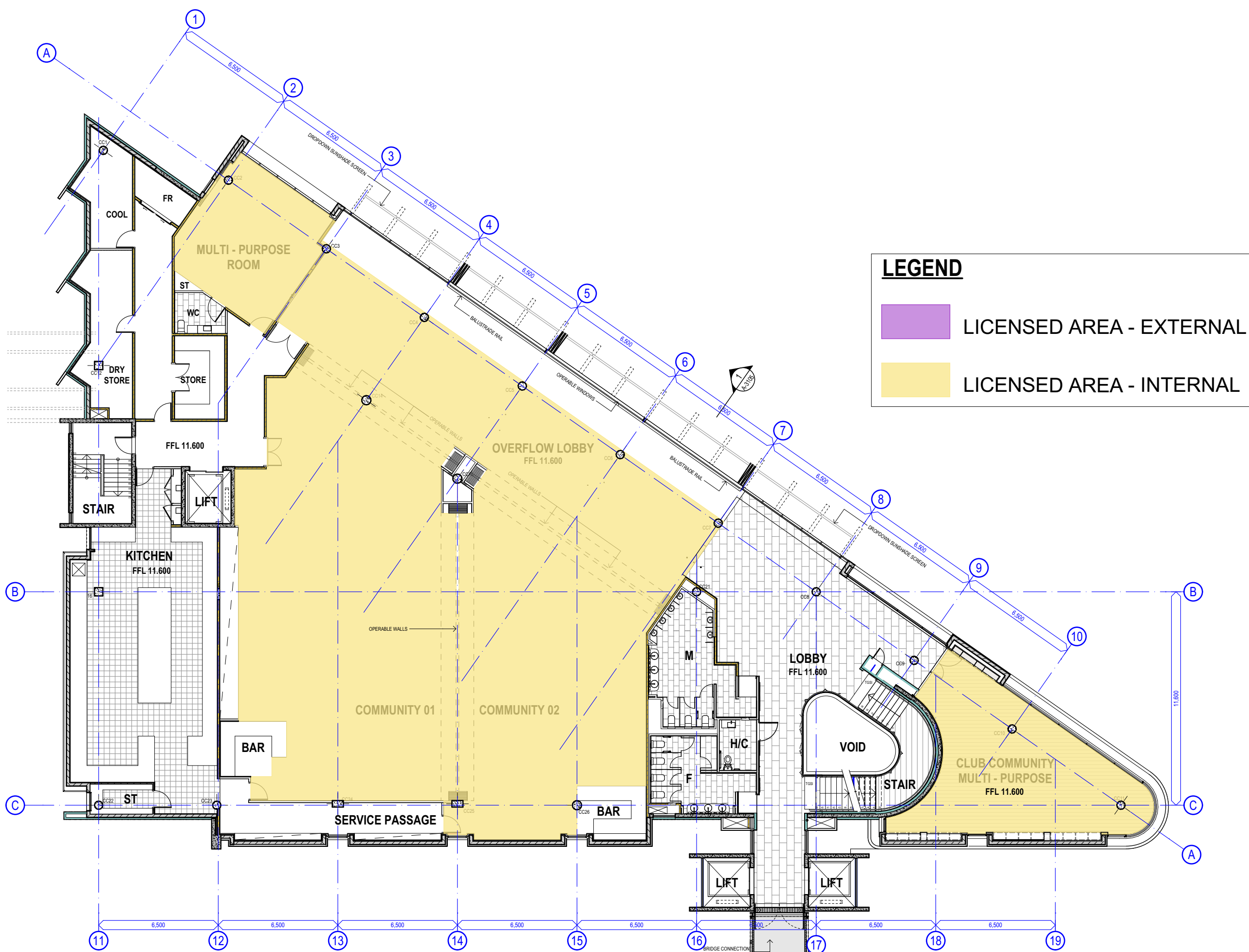
ISSUE

01



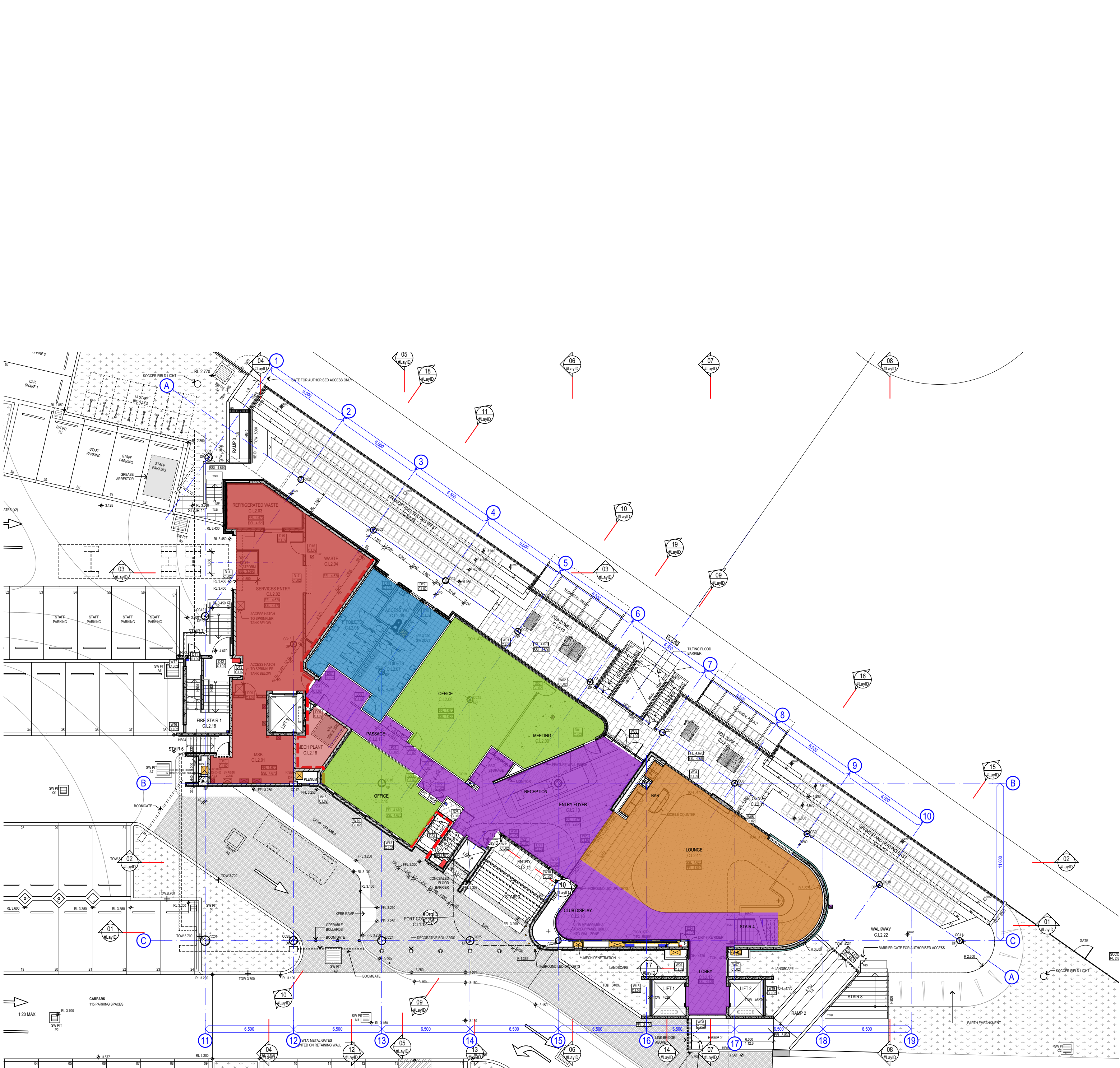
LEVEL 3 - CURRENT APPROVED LICENSED AREA

SCALE @ A1 1:200



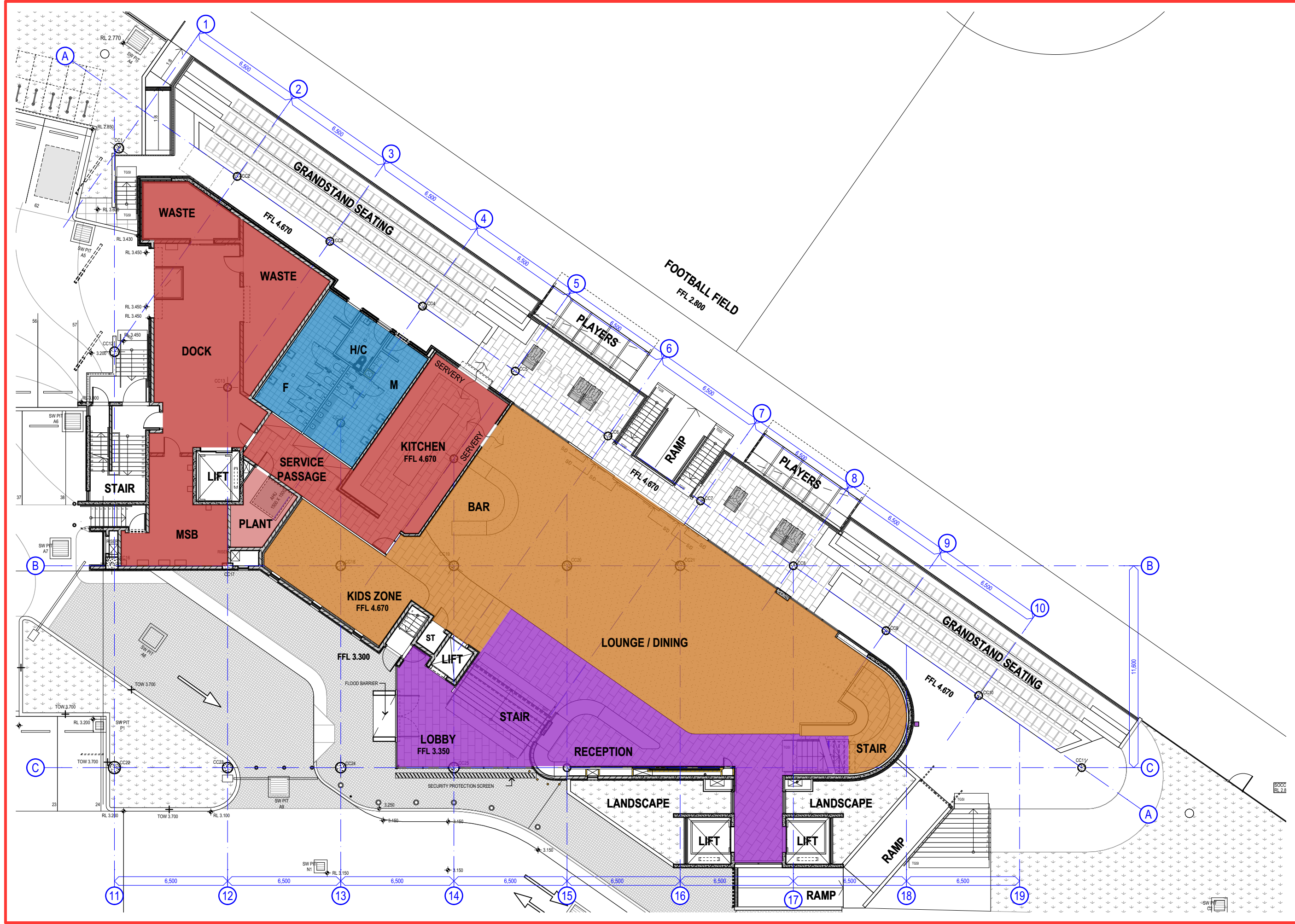
LEVEL 3 (CLUB) - PROPOSED LICENSED AREA

SCALE @ A1 1:200



CLUB - ENTRY LEVEL
SCALE @ A1 1:200

APPROVED



CLUB - ENTRY LEVEL
SCALE @ A1 1:200

PROPOSED

LOCATION OF ACTIVITIES + SERVICES

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BIMcloud: CPACLOBBIM01 - BIMcloud/1800/5669 CLUBHOUSE S456: 13/02/2025: 3:32 PM

GENERAL NOTES

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

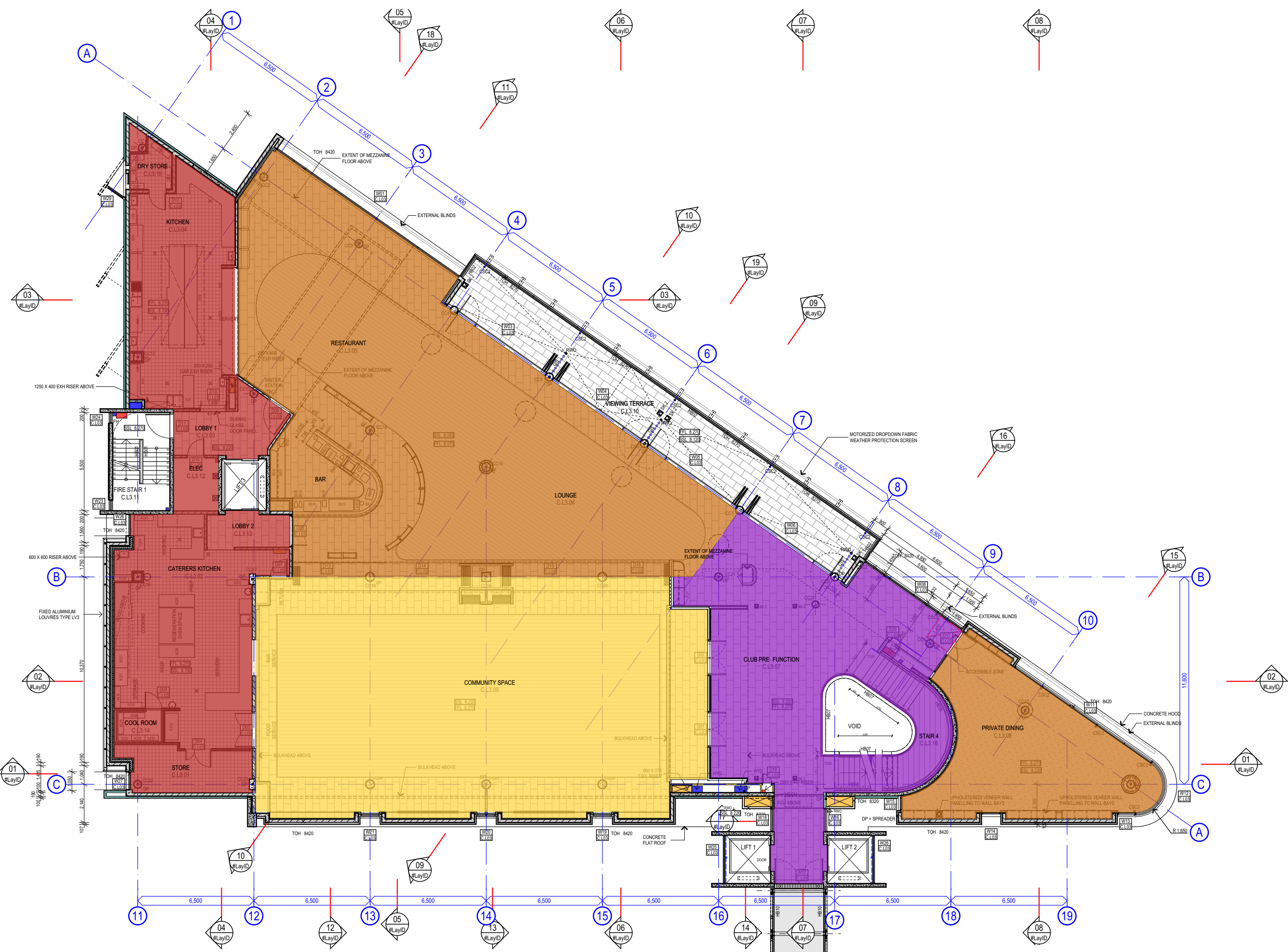
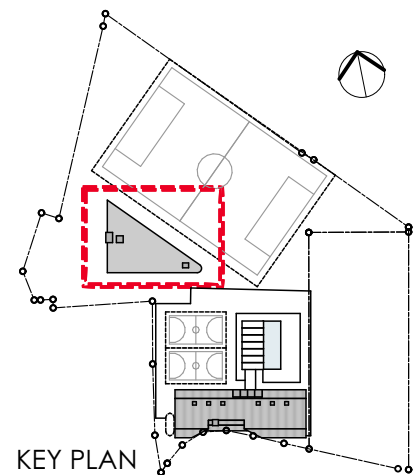
CC4 AND S456 FLOOR PLAN - ENTRY LEVEL COMPARISON

EXPLANATORY NOTES
ISSUE PURPOSE
S456

13/02/2025 RG BS BS
DATE D. C. A. CHANGE REGISTER

JOB No
5669
DRAWING No
AR-A-2151
ISSUE
01

- COMMUNITY ASSEMBLY
- COMMUNITY ACTIVITY
- RESTAURANT / BAR / LOUNGE
- OFFICE
- AMENITIES
- BOH (KITCHEN / STORAGE / STAFF)
- CIRCULATION
- PLANT



CLUB - LEVEL 02
SCALE @ A1 1:200

APPROVED



CLUB - LEVEL 02
SCALE @ A1 1:200

PROPOSED

LOCATION OF ACTIVITIES + SERVICES

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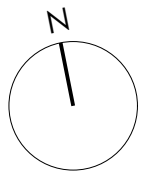
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Notated Architect
Martin Tamms NSW Reg No. 10093

BIMcloud: CPACLODBIM01 - BIMcloud/1800/5669 CLUBHOUSE S456: 13/02/2025: 3:32 PM



GENERAL NOTES

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

CC4 AND S456 FLOOR PLAN - LEVEL 02 COMPARISON

JOB No

5669

DRAWING No

AR-A-2152

ISSUE

01

11 EXPLANATORY NOTES

ISSUE PURPOSE

S456

13/02/2025 RG BS BS

DATE

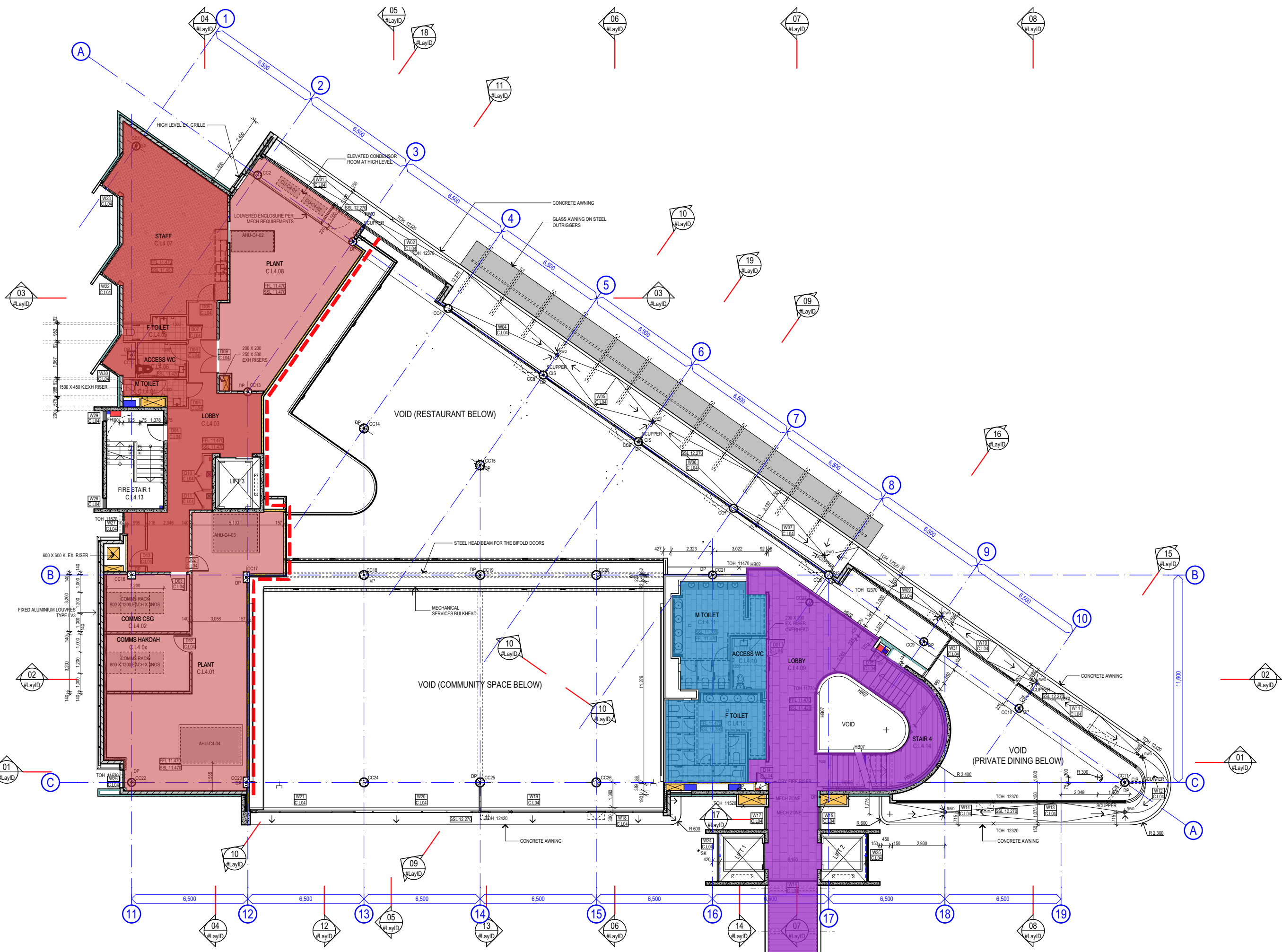
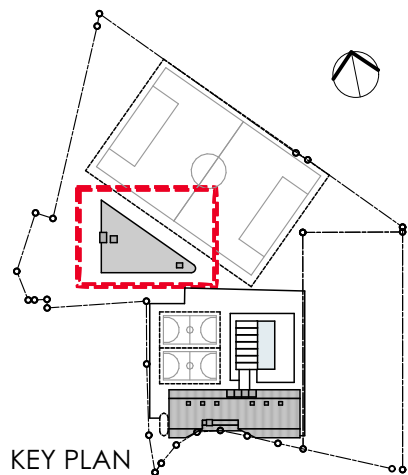
D.

C.

A.

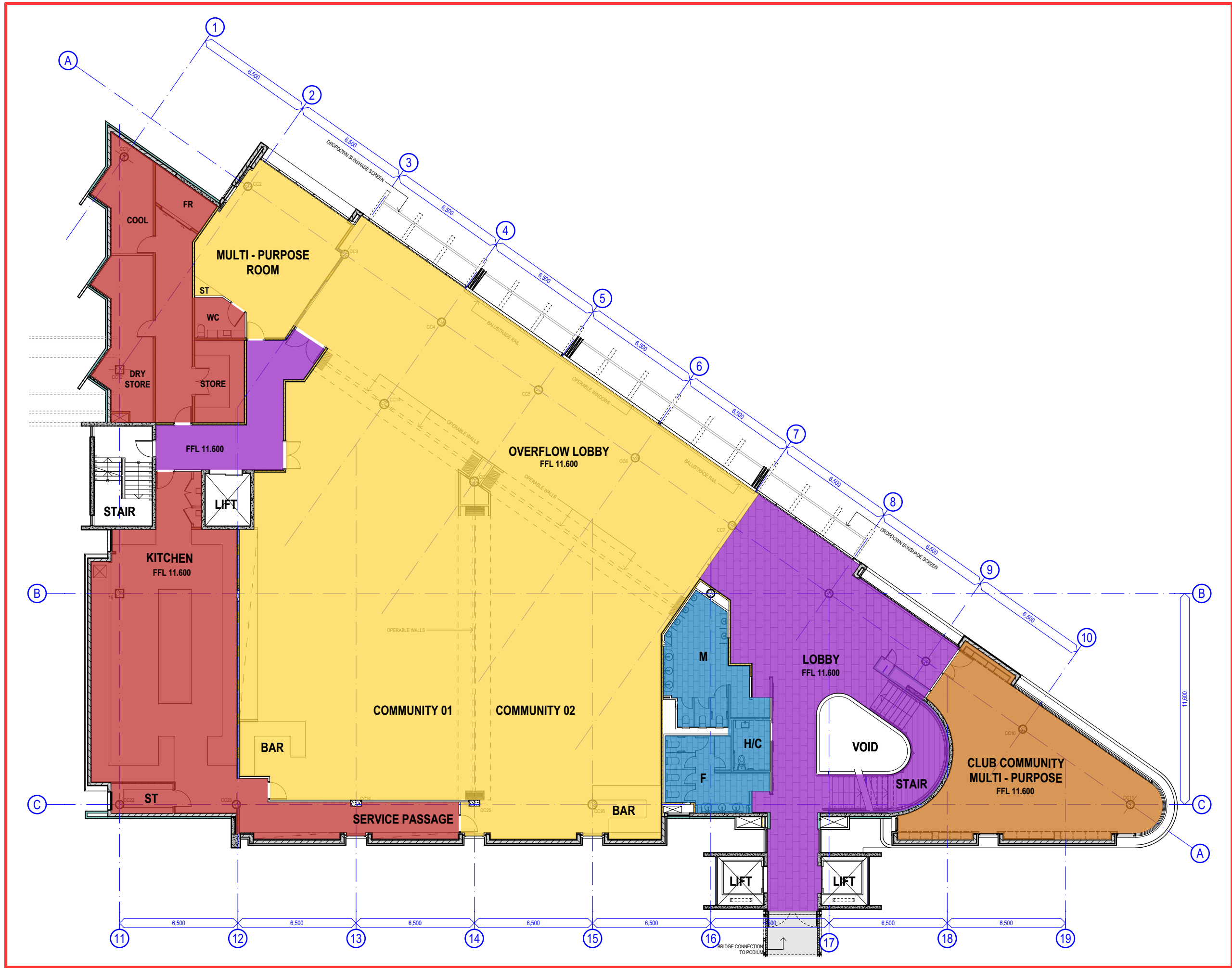
CHANGE REGISTER

- COMMUNITY ASSEMBLY
- COMMUNITY ACTIVITY
- RESTAURANT / BAR / LOUNGE
- OFFICE
- AMENITIES
- BOH (KITCHEN / STORAGE / STAFF)
- CIRCULATION
- PLANT



CLUB - LEVEL 02 (MEZZANINE)
SCALE @ A1 1:200

APPROVED



CLUB - LEVEL 03
SCALE @ A1 1:200

PROPOSED

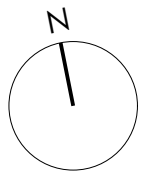
LOCATION OF ACTIVITIES + SERVICES

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Notated Architect
Martin Tams NSW Reg No. 10093
BIMcloud: CPACLBIMM01 - BIMcloud/1800/5669 CLUBHOUSE S456: 13/02/2025 3:33 PM



GENERAL NOTES

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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON
CLIENT - HAKOAH CLUB

DRAWING TITLE

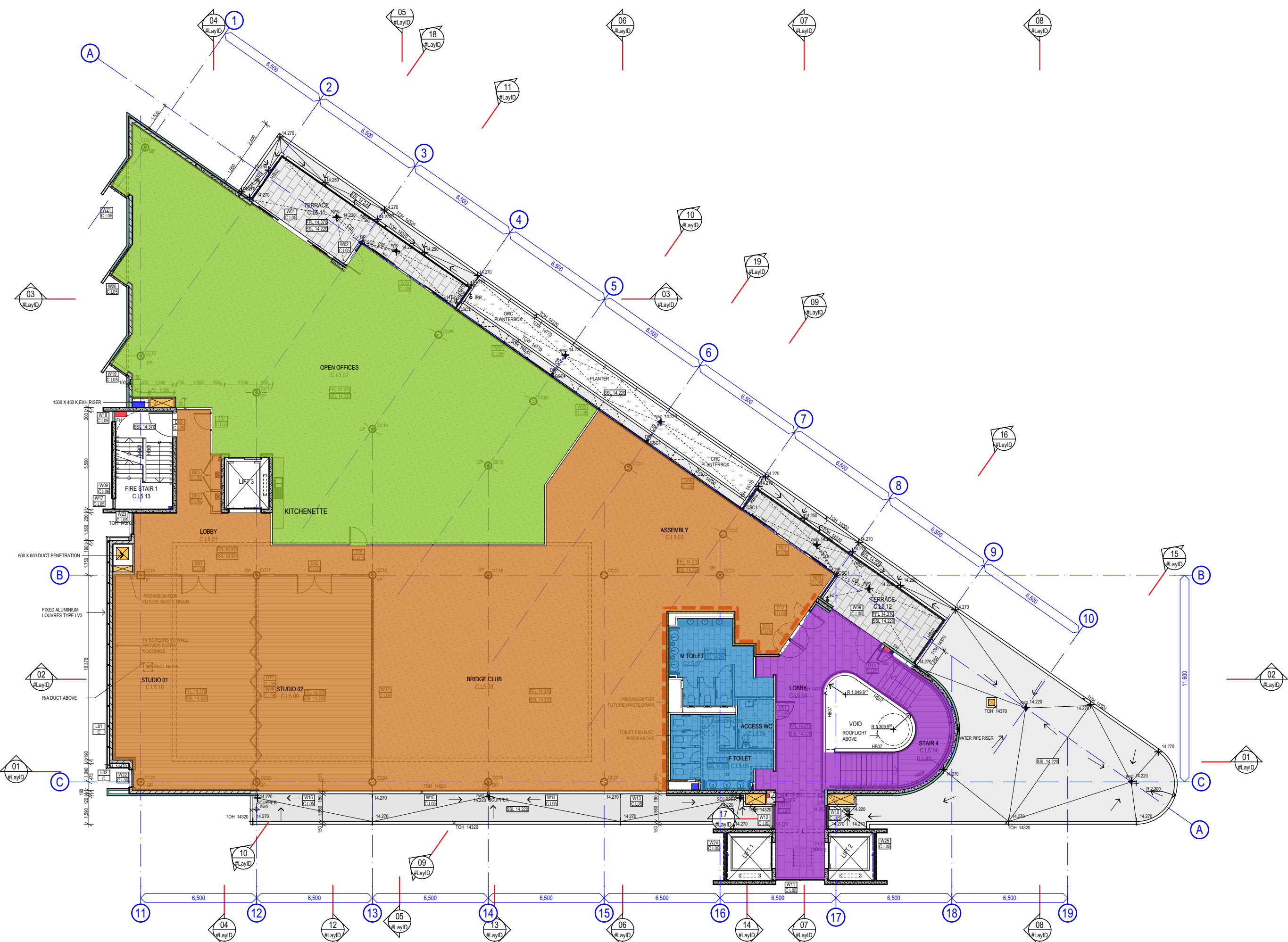
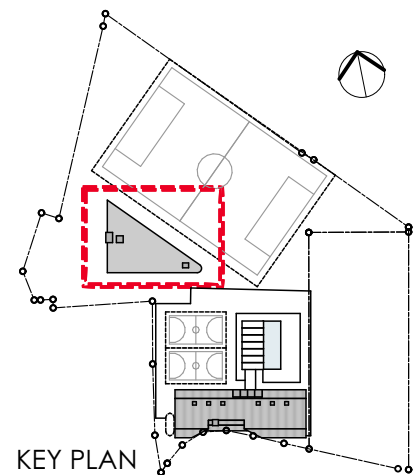
CC4 AND S456 FLOOR PLAN - LEVEL 02(MEZZANINE)/LEVEL 03 COMPARISON

ISSUE PURPOSE
S456

13/02/2025 RG BS BS
DATE D. C. A. CHANGE REGISTER

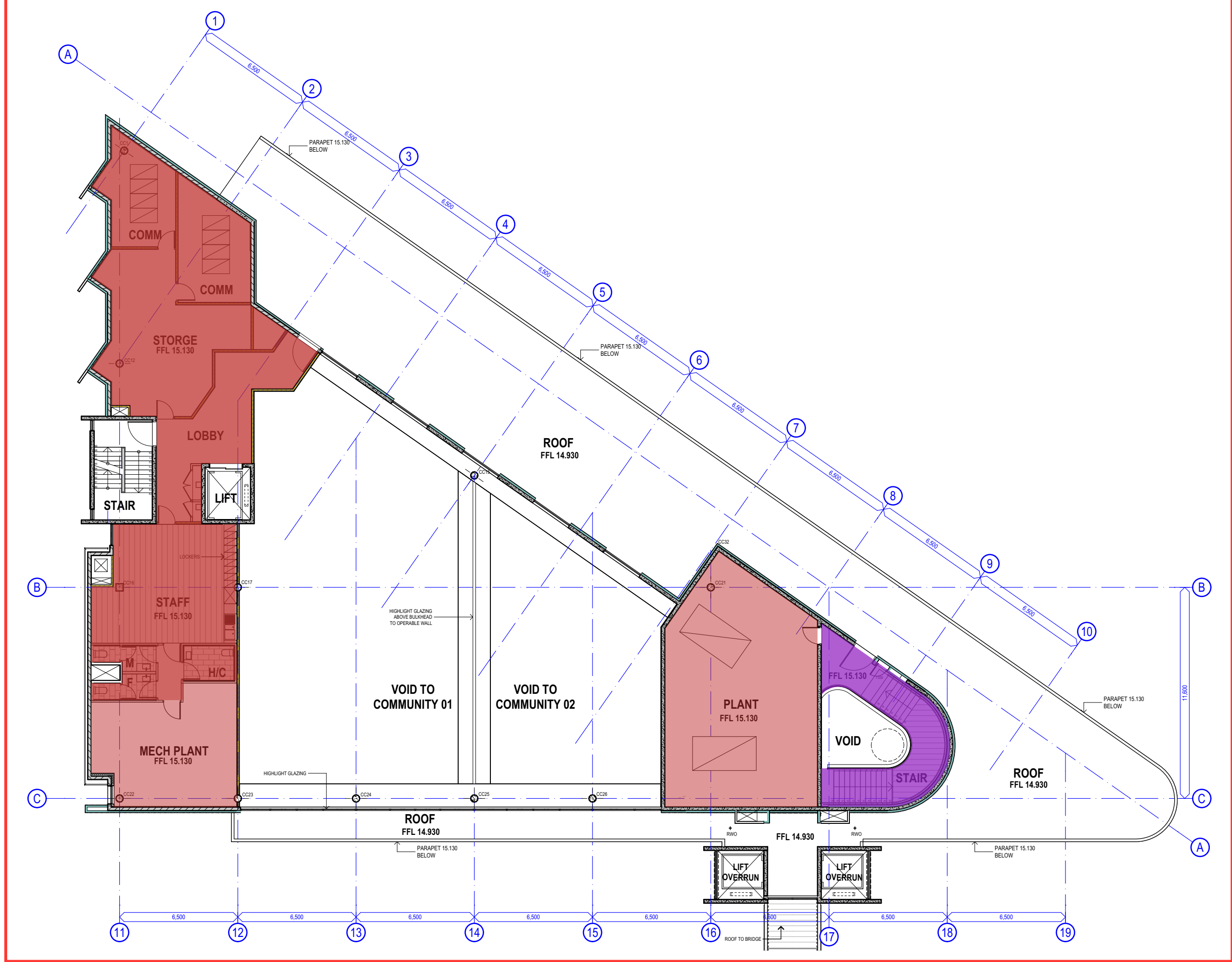
JOB No
5669
DRAWING No
AR-A-2153
ISSUE
01

- COMMUNITY ASSEMBLY
- COMMUNITY ACTIVITY
- RESTAURANT / BAR / LOUNGE
- OFFICE
- AMENITIES
- BOH (KITCHEN / STORAGE / STAFF)
- CIRCULATION
- PLANT



CLUB - LEVEL 03
SCALE @ A1 1:200

APPROVED



CLUB - LEVEL 03 (MEZZANINE)
SCALE @ A1 1:200

PROPOSED

LOCATION OF ACTIVITIES + SERVICES

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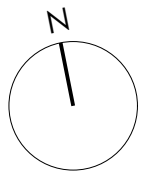
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BMcloud: CPACLODBIMM01 - BMcloud/1800/5669 CLUBHOUSE S456: 13/02/2025 3:33 PM



GENERAL NOTES

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EXPLANATORY NOTES
ISSUE PURPOSE
S456

13/02/2025 RG BS
DATE D. C. A. CHANGE REGISTER

CC4 AND S456 FLOOR PLAN - LEVEL 03/LEVEL 03(MEZZANINE) COMPARISON

JOB No 5669
DRAWING No AR-A-2154
ISSUE 01

REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

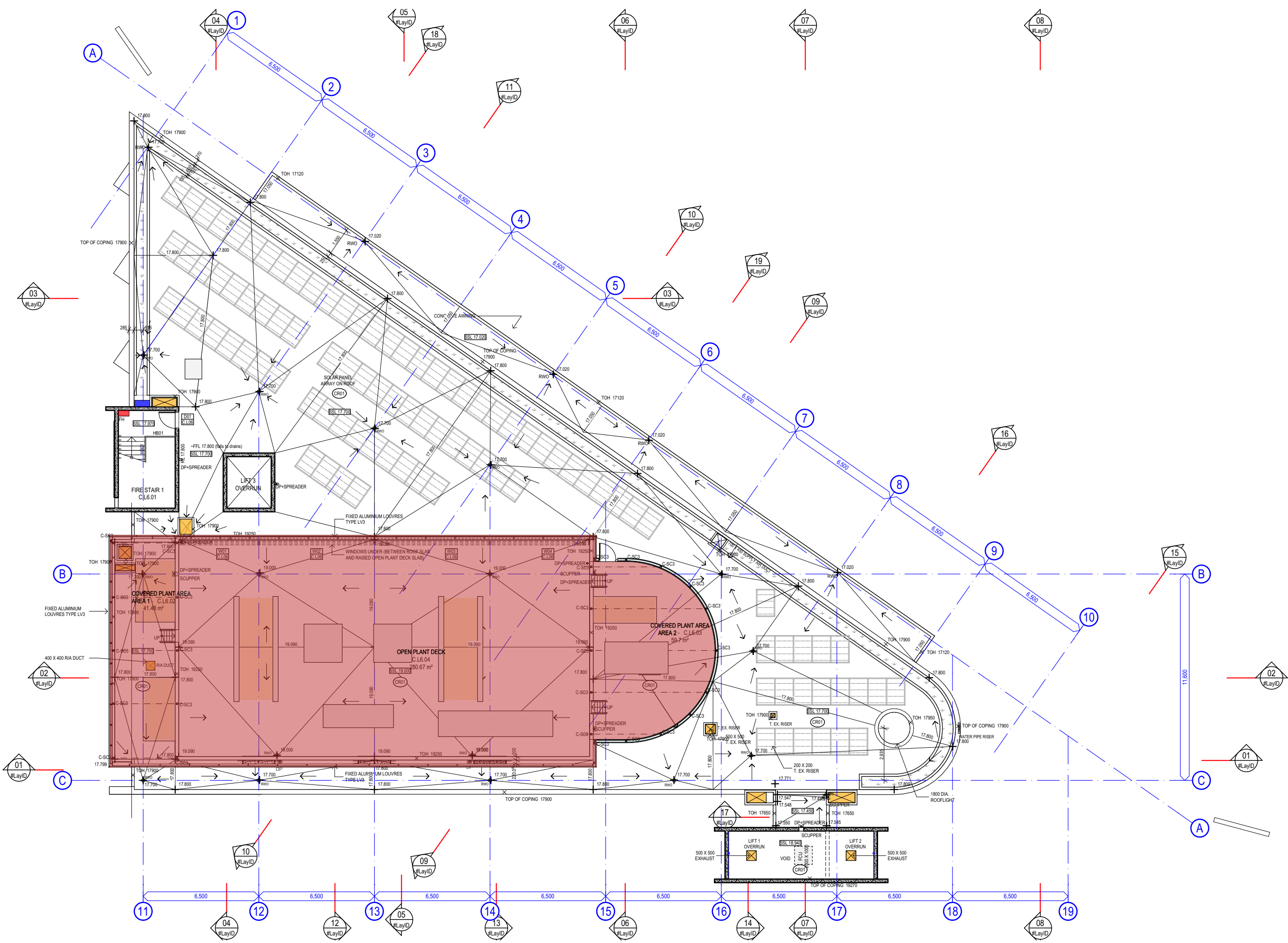
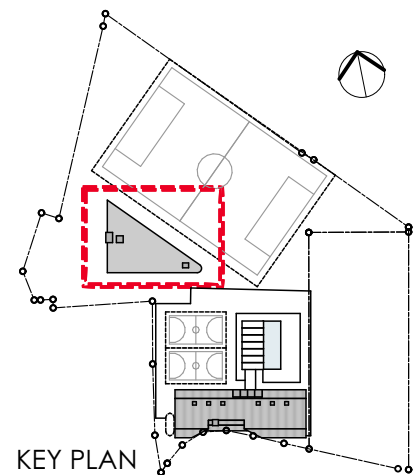
WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

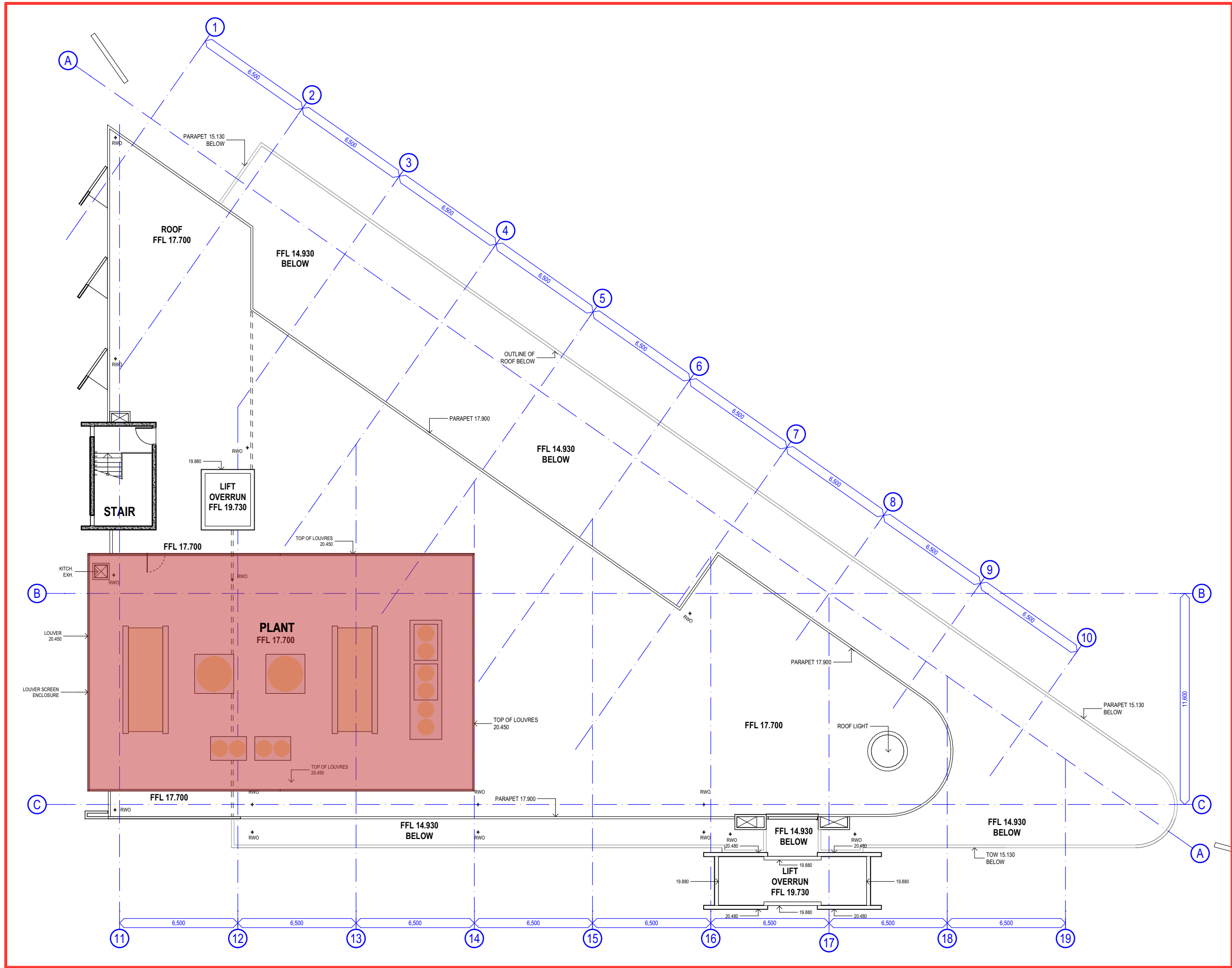
DRAWING TITLE

- COMMUNITY ASSEMBLY
- COMMUNITY ACTIVITY
- RESTAURANT / BAR / LOUNGE
- OFFICE
- AMENITIES
- BOH (KITCHEN / STORAGE / STAFF)
- CIRCULATION
- PLANT



CLUB - ROOF
SCALE @ A1 1:200

APPROVED



CLUB - ROOF
SCALE @ A1 1:200

PROPOSED

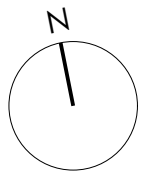
LOCATION OF ACTIVITIES + SERVICES

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GENERAL NOTES

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REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

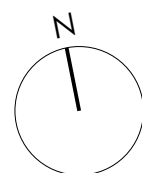
CLIENT - HAKOAH CLUB

DRAWING TITLE

CC4 AND S456 FLOOR PLAN - ROOF COMPARISON

JOB No
5669
DRAWING No
AR-A-2155
ISSUE
01

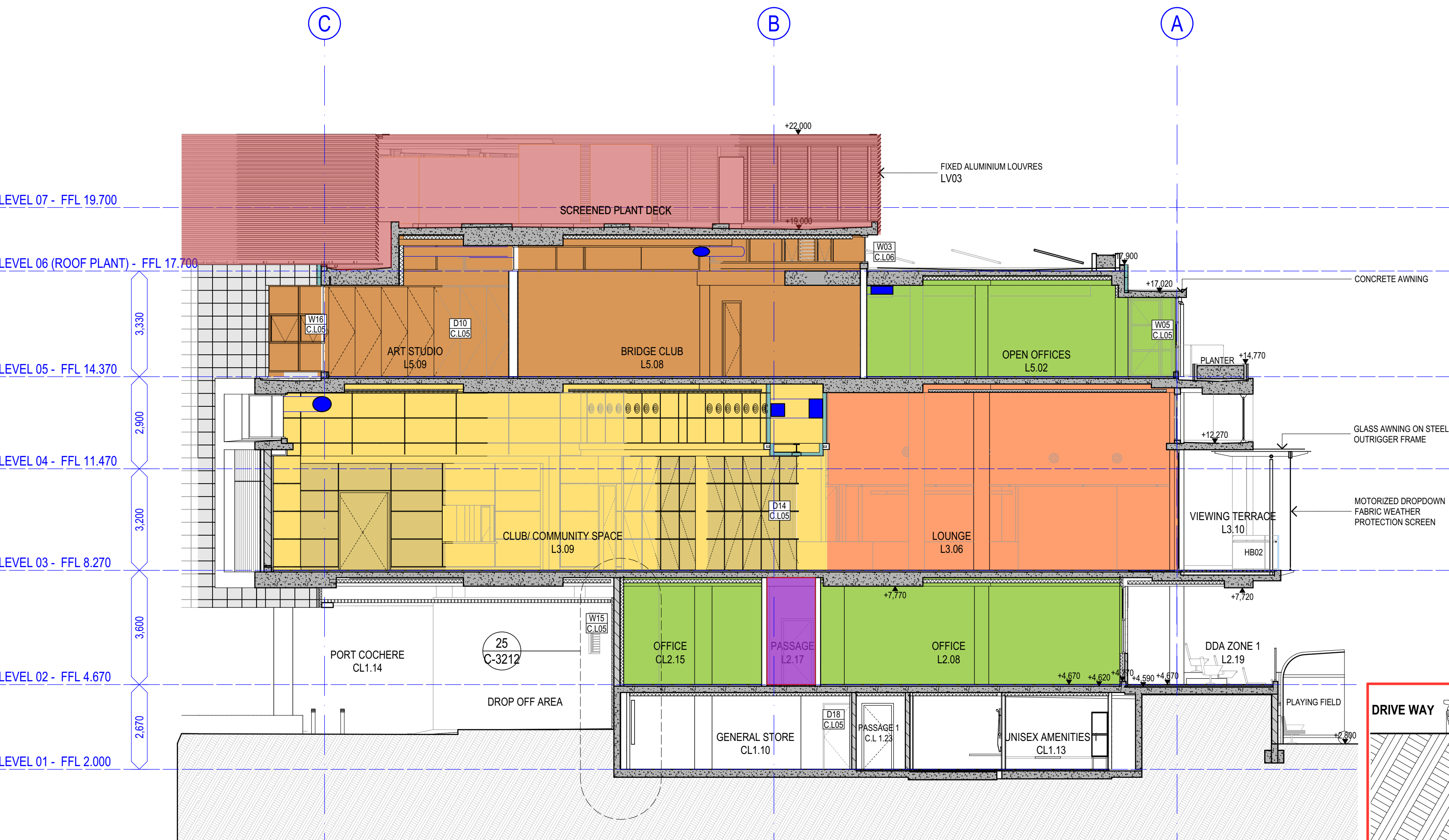
ISSUE PURPOSE
S456
EXPLANATORY NOTES
13/02/2025 RG BS BS
DATE D. C. A. CHANGE REGISTER



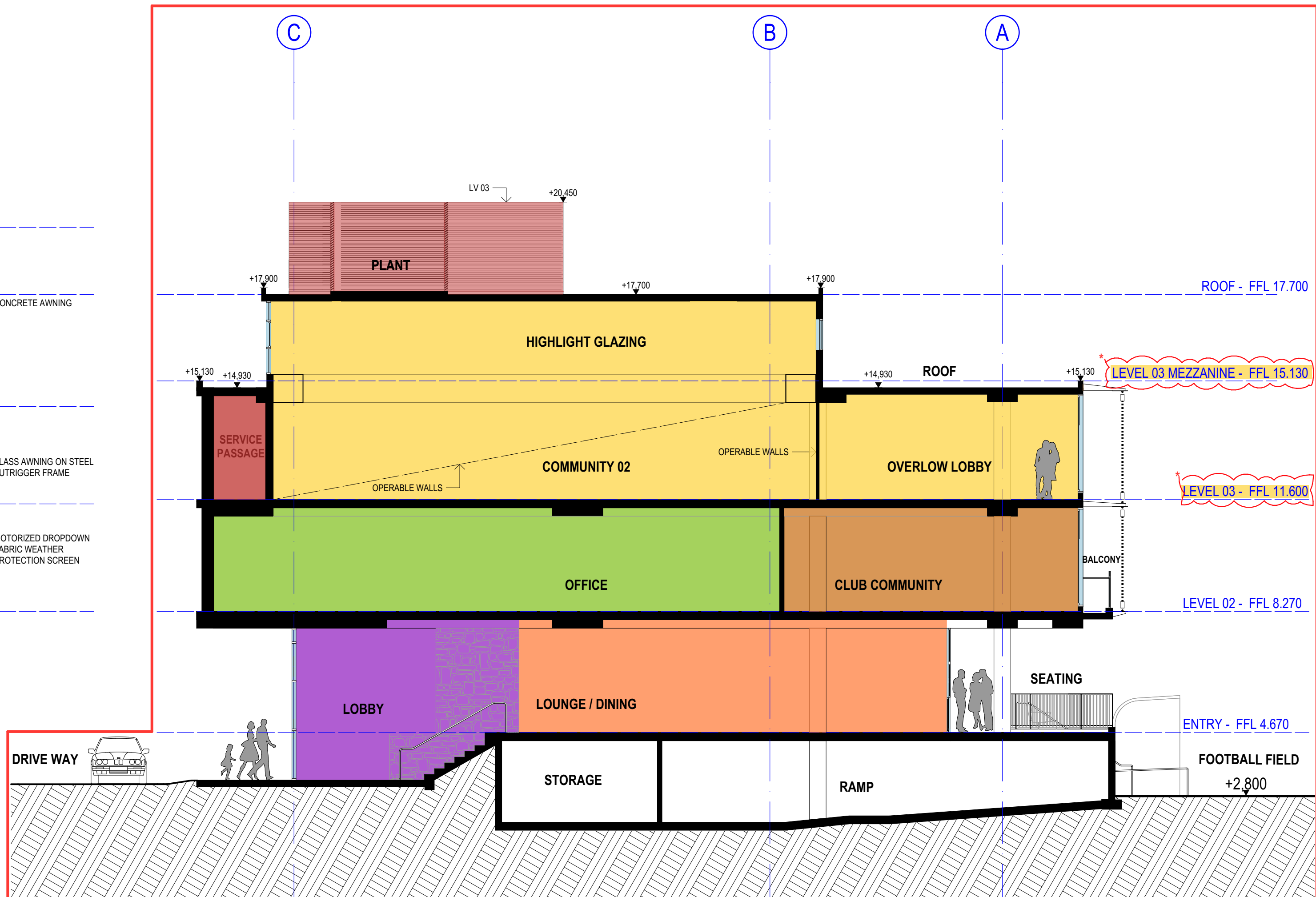
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LOCATION OF ACTIVITIES + SERVICES

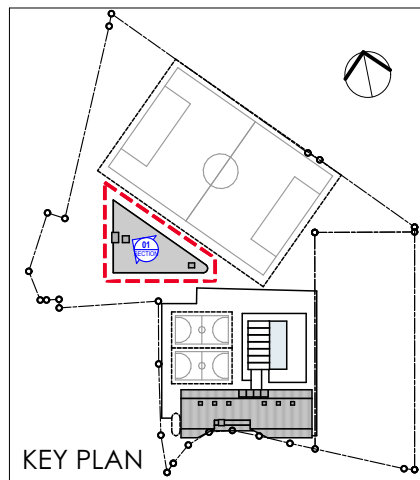


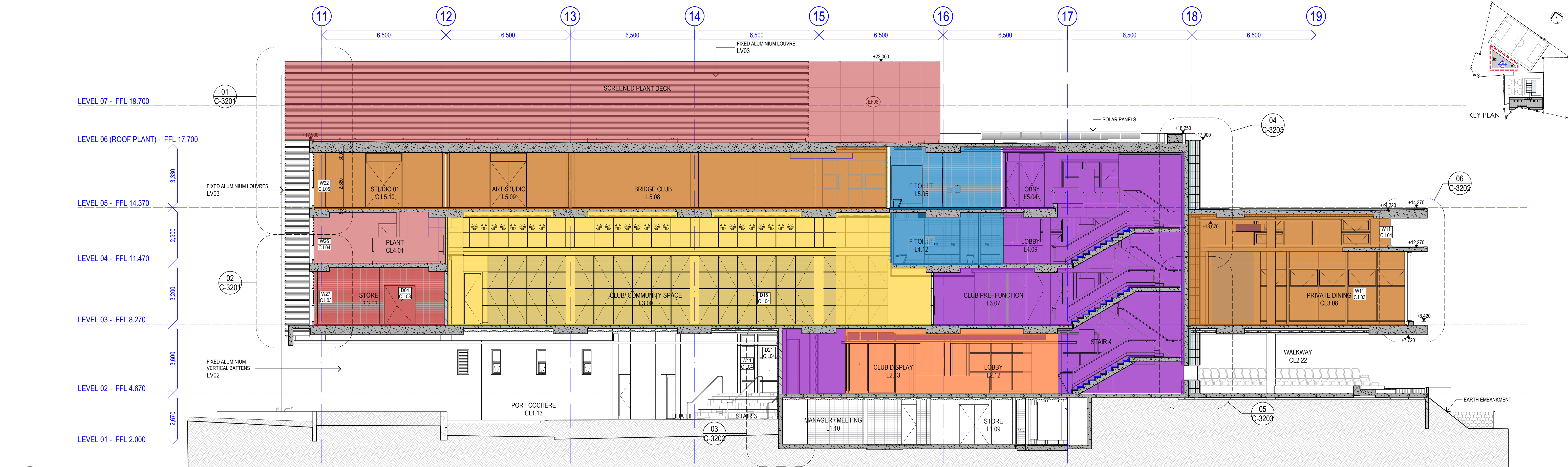
CLUB SECTION 01
SCALE @ A1 1:100
APPROVED



CLUB SECTION 01
SCALE @ A1 1:100
PROPOSED

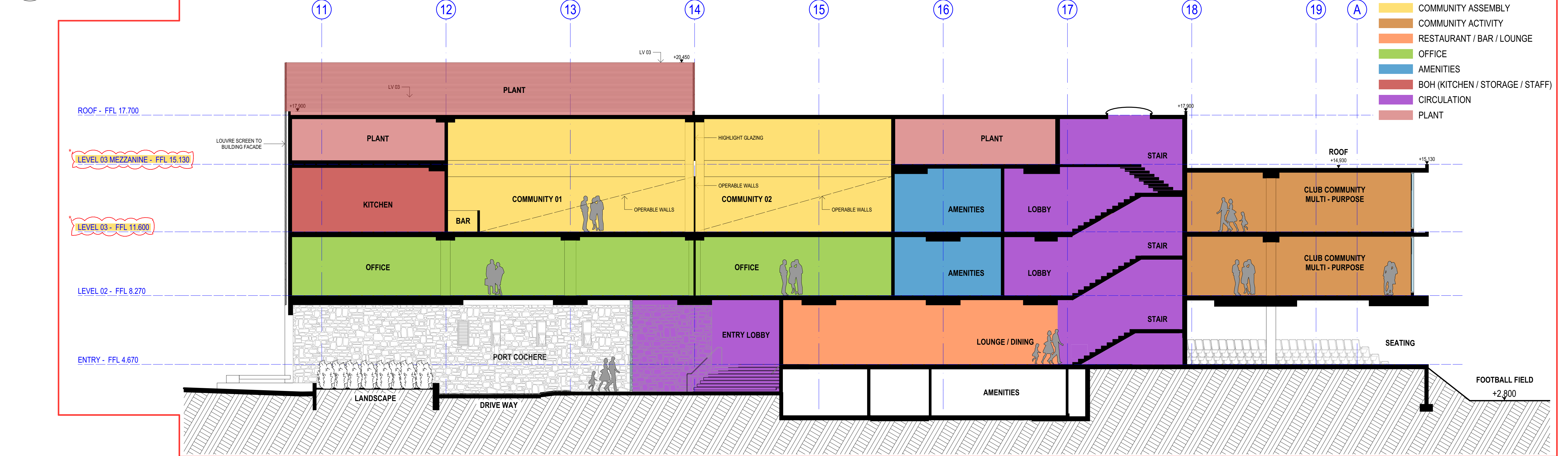
- COMMUNITY ASSEMBLY
- COMMUNITY ACTIVITY
- RESTAURANT / BAR / LOUNGE
- OFFICE
- AMENITIES
- BOH (KITCHEN / STORAGE / STAFF)
- CIRCULATION
- PLANT





CLUB SECTION 02
SCALE @ A1 1:100

APPROVED



CLUB SECTION 02
SCALE @ A1 1:100

PROPOSED

LOCATION OF ACTIVITIES + SERVICES

REFER TO 0900 SERIES FOR GENERAL NOTATION, ABBREVIATIONS, SYMBOLS AND NUMBERING SYSTEMS

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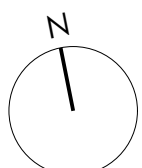
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GENERAL NOTES

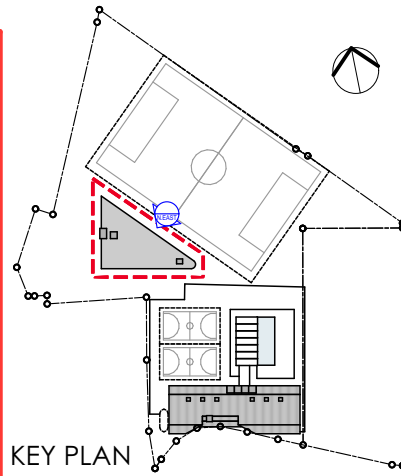
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ISSUE PURPOSE
S456

DATE D. C. A. CHANGE REGISTER

CC4 AND S456 CLUBHOUSE - SECTION 02 COMPARISON

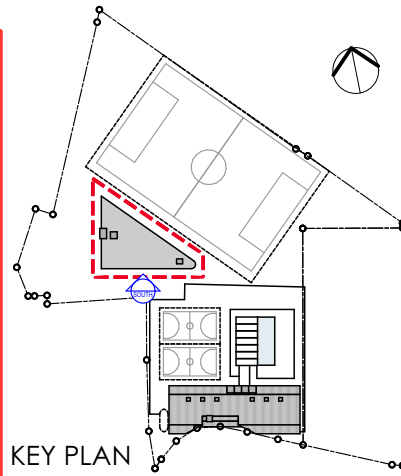
JOB No 5669
DRAWING No AR-A-3206
ISSUE 01



PROPOSED

APPROVED

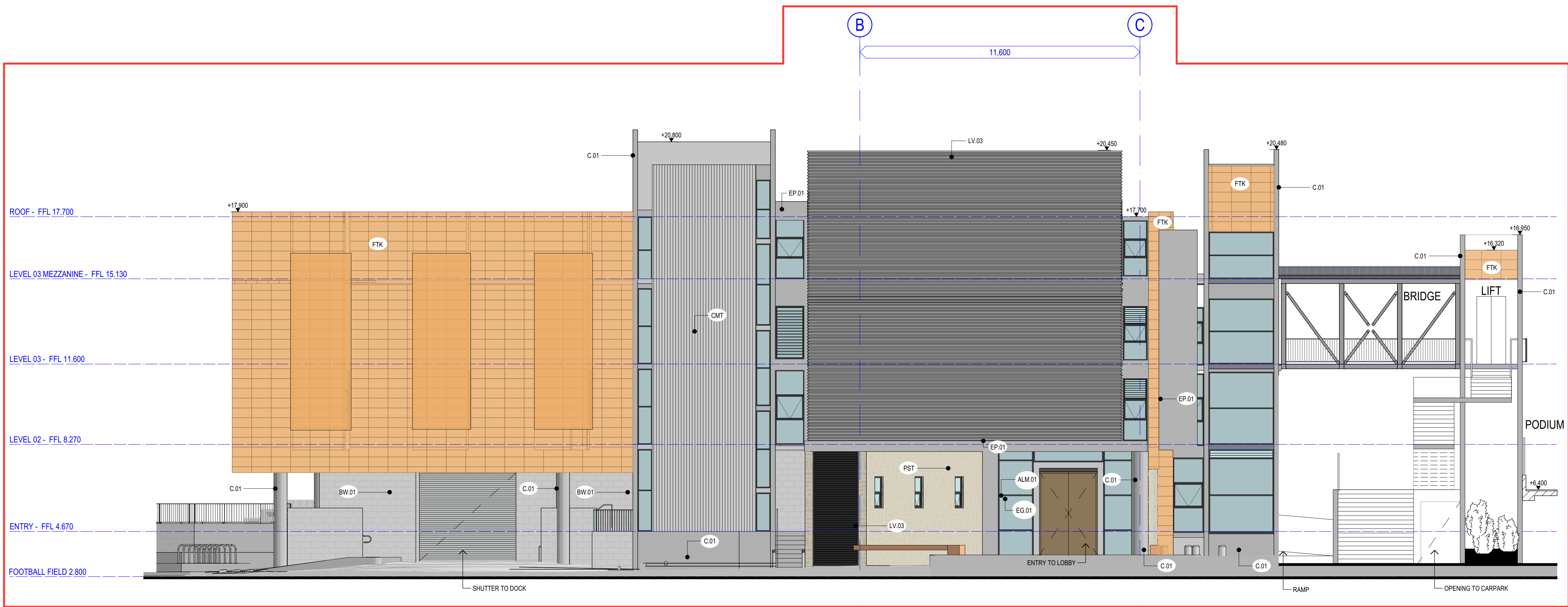
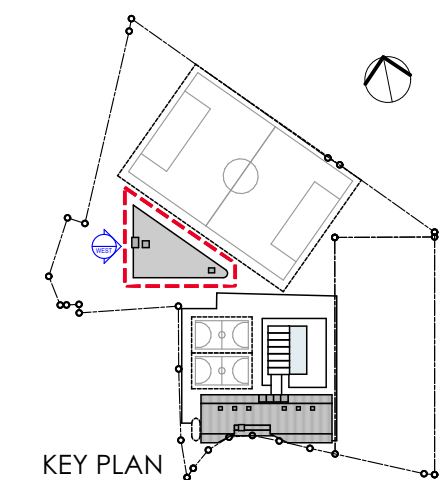
JOB No	DRAWING No	ISSU
5669	AR-A-3101	01



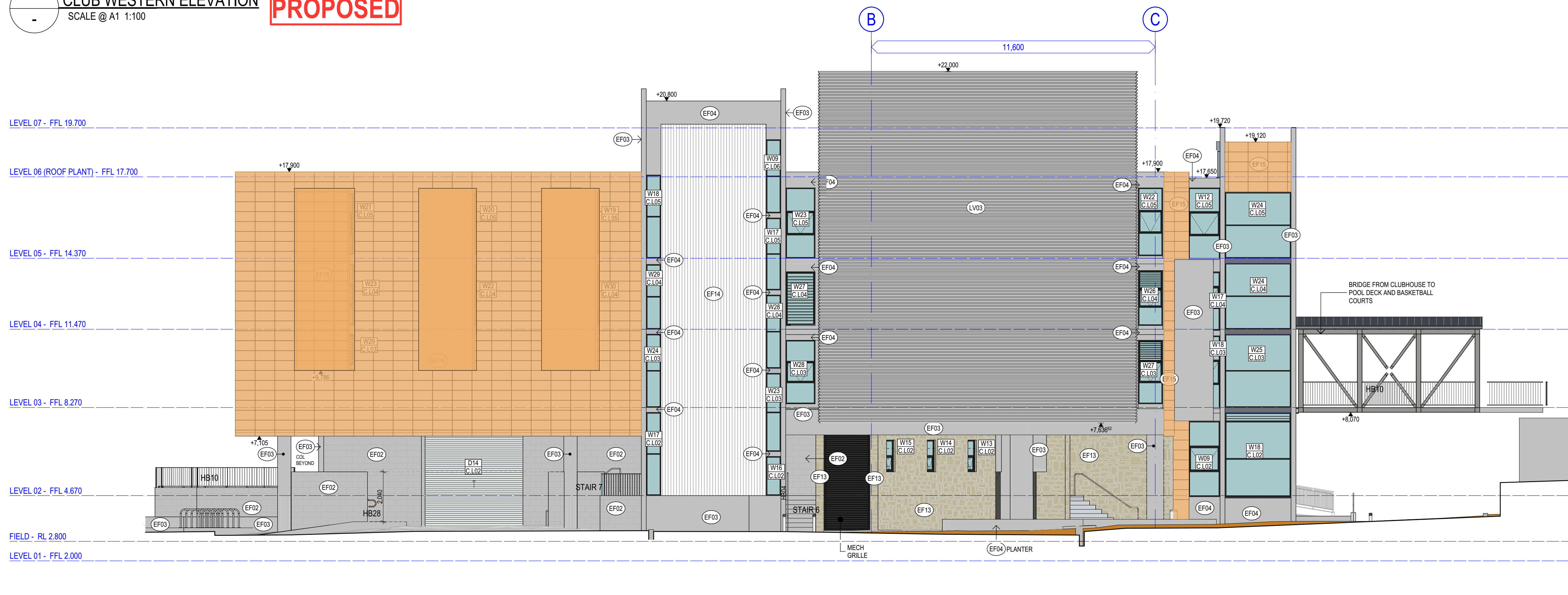
PROPOSED

APPROVED

JOB No	DRAWING No	ISSU
5669	AR-A-3102	01



CLUB WESTERN ELEVATION
SCALE @ A1 1:100
PROPOSED



CLUB WESTERN ELEVATION
SCALE @ A1 1:100
APPROVED

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DEVELOPMENT MANAGER



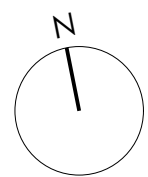
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SCALE 1:100 @ A1



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WHITE CITY REDEVELOPMENT

30 ALMA STREET, PADDINGTON

CLIENT - HAKOAH CLUB

DRAWING TITLE

CC4 AND S456 CLUBHOUSE - WEST ELEVATION COMPARISON

JOB No

5669

DRAWING No

AR-A-3103

ISSUE

01

EXPLANATORY NOTES

ISSUE PURPOSE

S456

13/02/2025

RG

BS

BS

DATE

D.

C.

A.

CHANGE REGISTER